

VARIANCE APPLICATION

Planning & Zoning

2635 Talley Street
Decatur, GA 30030
Phone 404-377-6198
Fax 404-378-5054



Attach a survey of the property drawn to scale and showing the following information. Please provide one full-size copy of all plans, as well as one copy of all plans in an 8½" x 11" format. It is helpful to show floor plans and elevations of proposed building improvements, as well as a letter of support from adjacent property owners. If the applicant is not the current property owner, provide a notarized authorization for this application from the current property owner. See the stream variance submittal checklist for additional requirements for stream variances.

1. all property lines with dimensions
2. location of buildings and other structures, creeks and easements referenced to property lines
3. north arrow, scale, lot and block numbers and land lot
4. topographic and drainage information if pertinent

Address of property 906 N PARKWOOD ROAD Decatur, GA 30030
Name of applicant RAMA DESIGN BUILD LLC (ZACHARY BRANCH) Phone 503 758 0970
Address 480 MELLVIEW AVE SW City/state/ZIP ATLANTA GA 30310
Email RAMADESIGNBUILD@GMAIL.COM
Name of property owner JOHN NATHANIEL GREENE + SARAH FRIEDENTHAL-GREENE Phone 917 821 0376
Address 906 N PARKWOOD ROAD City/state/ZIP DECATUR GA 30030
Current zoning of property R-60

.....
Please answer all of the following questions on a separate sheet.

1. What is the variance requested? What code requirement do you wish to vary from?
2. What are the special conditions relating to the specific piece of property in question (narrowness, shallowness, shape, topography, or other extraordinary and exceptional situation)?
3. Explain how the application of the zoning ordinance to this specific piece of property results in peculiar, extraordinary and practical difficulties?
4. Are the circumstances or conditions applying to the building or land in question peculiar to the premises? Do they apply generally to other land or buildings in the vicinity?
5. Explain why the granting of this variance is necessary for the preservation and enjoyment of a property right and does not merely serve as a convenience to the applicant.
6. Did the condition for which the variance is sought result from an action by the applicant?
7. Explain how the variance will affect the supply of light and air to adjacent property, the traffic on public streets, the danger of fire, the public safety and established property values.
8. Explain how the granting of the variance will be in harmony with the general purpose and intent of the Decatur land use plan.
9. Will the granting of the variance allow a structure or use in a district restricted against such structure or use?

.....
I hereby certify that the above and attached statements and documents are true to the best of my knowledge and belief.

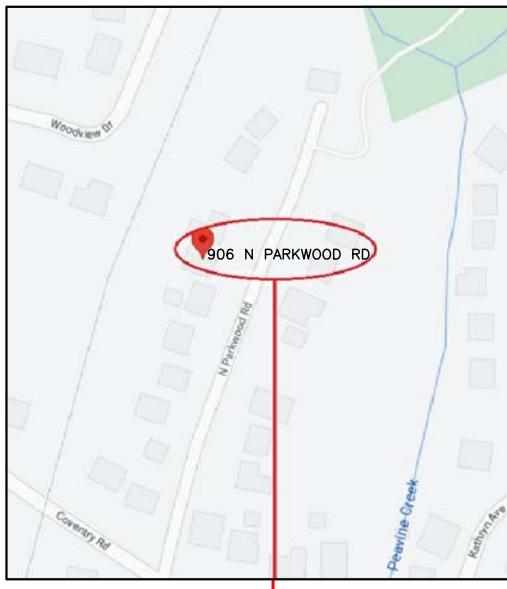
Applicant signature Date 4/5/24

Variance Application Questions

**906 N Parkwood Road
Decatur GA 30030**

Permit #... 24DEC-RA00058

1. The existing house and driveway fall within the setbacks of the property. The proposed driveway and 2nd story addition to the house will not expand on the footprint of the existing driveway or house. The driveway will be replaced with the exact same size, and the 2nd story addition will be built plumb from the existing exterior walls.
2. Narrowness / shape
3. The footprint of the existing house and driveway will not change with our proposed work.
4. Both the adjacent properties also have encroachments to their sides of the setbacks.
5. The homeowners have a growing family and their current house will not sustain their growing needs. Since the footprint of the existing house and driveway will not change with our proposed work, and the neighbors are in support, said work would fall within “the preservation and enjoyment of a property right”.
6. No, nothing has changed since the current homeowners bought the property.
7. Since the proposed 2nd story addition will be only on the back 1/3 of the house (west facing), there would not be a significant affect on the supply of light and air to adjacent properties. The traffic, danger of fire, and public safety will not change. The established property value would increase.
8. The granting of this variance will provide a longtime local Decatur family with the space in their home to accommodate their growing family.
9. No, it would not.



VERTICAL DATUM NAVD88

EXIST. HOUSE FFE
MAIN 973.45

- SSMH1 959.08
INV OUT 948.28
- SSMH2 953.16
INV IN 943.26
INV OUT 943.16
- SSMH3 938.07
INV IN 927.77
INV OUT 927.57

FLOOD NOTE:

I HAVE THIS DATE, EXAMINED THE "FIA FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED PARCEL IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS. WITHOUT AN ELEVATION CERTIFICATION SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE DUE TO ITS OPINION FOR SAID PARCEL.
 MAP ID 13089C0064K
 EFFECTIVE DATE: 08/15/2019
 ZONE: X

THE FLOOD INFORMATION ON THIS PLAT HAS BEEN DETERMINED AFTER REVIEW OF MAPS WHICH ONLY APPROXIMATE THE LOCATION OF THE APPLICABLE FLOOD HAZARD AREA. A SECOND OPINION OR COMPREHENSIVE FLOOD EVALUATION STUDY IS SUGGESTED FOR MORE ACCURATE INFORMATION. FOR FURTHER INFORMATION CONTACT THE LOCAL DRAINAGE DEPARTMENT, CORPS OF ENGINEERS AND INSURANCE COMPANY OR AN APPRAISER.

FUTURE FLOOD DISCLAIMER:

THE FLOOD DATA SHOWN HEREON IS PER FEMA ACTIVE PANEL MAP WITH EFFECTIVE DATE AS SHOWN. THERE MAY BE FUTURE FLOOD ELEVATION INFORMATION STUDIED INTERNALLY BY THE LOCAL GOVERNING MUNICIPALITY IN WHICH THE SUBJECT PROPERTY SITUATES AND THAT INFORMATION MAY NOT BE AVAILABLE TO THE PUBLIC, THEREBY NOT REFLECTED ON THE CURRENT FEMA PANEL MAP. ON THE DATE OF THIS SURVEY, WE REQUEST ANY AND ALL FUTURE FLOOD INFORMATION FROM THE APPLICABLE MUNICIPALITIES AND SHOW THAT INFORMATION HEREON WHENEVER POSSIBLE. IT IS THE RESPONSIBILITY OF THE END USER OF THIS SURVEY TO VERIFY THE APPLICABLE FLOOD INFORMATION DURING THE DEVELOPMENT PHASE, OR OTHER FUTURE USE, BEYOND THE DATE OF THIS SURVEY.

SURVEY NOTES:

- STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, TELEPHONE, ELECTRIC, WATER AND SEWER, GAS COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
- THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE LOCATED USING SIDE DIMENSIONS FROM THE HOUSE. ALL MATTERS OF THE TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT OF WAY PUBLIC OR PRIVATE.
- SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD RECORDED AND NOT RECORDED, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT OR BURDEN THIS PROPERTY. MATTERS OF TITLE ARE EXCEPTED. PROPERTY OWNER OR PERSON ORDERING THE SURVEY IS RESPONSIBLE TO CONTACT CLOSING ATTORNEY OR TITLE COMPANY FOR A FULL TITLE SEARCH AND COMMITMENT INCLUDING ALL THE EXCEPTION.
- SURVEY LAND EXPRESS, INC IS NOT RESPONSIBLE FOR AND DOES NOT WARRANT THE ZONING INFORMATION AND INTERPRETATION AS PROVIDED HEREIN. THIS INFORMATION IS OBTAINED USING ON-LINE SOURCES, TELEPHONE CONVERSATION WITH ZONING OFFICE AT THE COUNTY OR CITY, ETC. AND CANNOT GUARANTEE ITS ACCURACY. IT IS RECOMMENDED THAT THE CLIENT OR USER OF THIS DATA VERIFY THIS INFORMATION WITH THE ISSUING AUTHORITY.
- THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS, ENTITY.

THIS SURVEY PLAT OF EXISTING CONDITIONS ON THE PROPERTY MUST BE USED AS A SINGLE STAND ALONE BLOCK. IT CAN NOT BE SCANNED AND ALTERED, CROPPED OUT COPY/PASTE OR MODIFIED WITH SURVEY LAND EXPRESS TITLE BLOCK, SURVEYOR'S STAMP AND SIGNATURE. THIS SURVEY PLAT CAN BE ONLY ATTACHED AS A SEPARATE DOCUMENT BY ITSELF TO DEVELOPMENT PROJECTS AND SITEPLANS AND CAN NOT BE INSERTED WITH SURVEY LAND EXPRESS TITLE BLOCK, SURVEYOR'S STAMP AND SIGNATURE TO SOME OTHER DEVELOPMENT PROJECTS PREPARED BY ANY OTHER PARTY WITHOUT WRITTEN APPROVAL AND ORIGINAL BLUE INK SIGNATURE OF THE SURVEYOR OF RECORD.

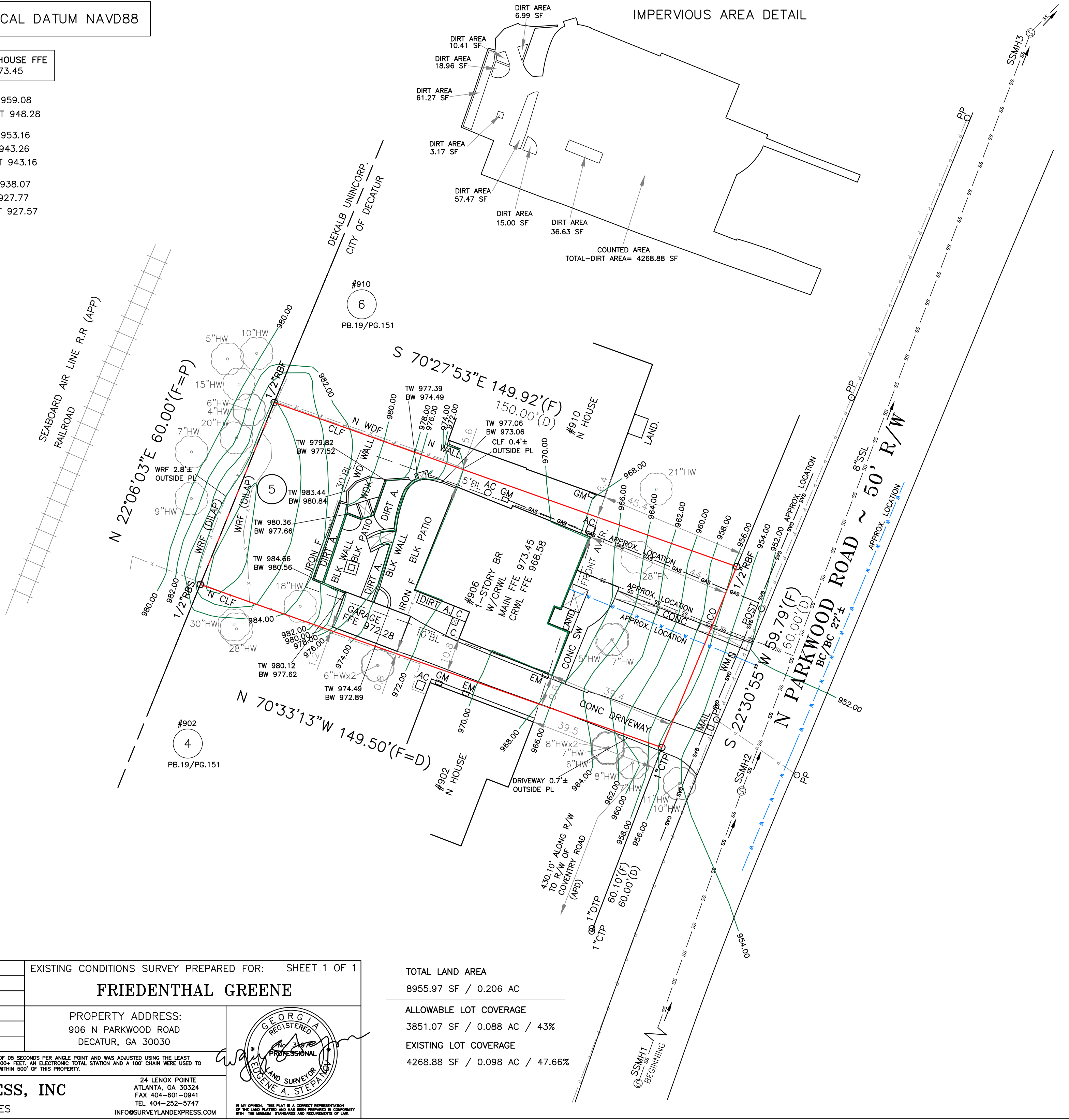
ZONING NOTE:
 BEFORE DEVELOPMENT OF THIS PROPERTY, DEVELOPER AND ARCHITECT TO CONFIRM ZONING DISTRICT, PER ZONING DEPARTMENT. ZONING INFORMATION SHOWN HEREON WAS DERIVED FROM ONLINE SOURCE MUNICOD.



PROPERTY IS ZONED R-60
 CITY OF DECATUR
 BUILDING SETBACKS:
 FRONT AVERAGE
 SIDE 10' & 5'
 REAR 30'
 MAX LOT COVERAGE 43%
 MAX BUILDING HEIGHT 2 STORIES / 35'

LOT 5		EXISTING CONDITIONS SURVEY PREPARED FOR: SHEET 1 OF 1	
RE-SUBDIVISION OF PART OF CHELSEA HEIGHTS		FRIEDENTHAL GREENE	
LAND LOT 4 18TH DISTRICT			
DEKALB COUNTY, GEORGIA PB.19/PG.151 DB.25980/PG.605		PROPERTY ADDRESS: 906 N PARKWOOD ROAD DECATUR, GA 30030	
FIELD WORK DATE MARCH 30, 2023	PRINTED/SIGNED APRIL 04, 2023		
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED PAPER SIZE: 18" x 24"			
THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000+ FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000+ FEET, AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.			
AP COORD #20230470 DWG #20230470	SURVEY LAND EXPRESS, INC LAND SURVEYING SERVICES		24 LENOX POINTE ATLANTA, GA 30324 FAX 404-601-0941 TEL 404-252-5747 INFO@SURVEYLANDEXPRESS.COM

IMPERVIOUS AREA DETAIL



* LEGEND *

- APD AS PER DEED
- AE ACCESS EASEMENT
- APF AS PER FIELD
- AIF ANGLE IRON FOUND
- APP AS PER PLAT
- APR AS PER RECORD
- APZ AS PER ZONING
- B BOLLARD
- BC BACK OF CURB
- BLK BLOCK
- BL BUILDING LINE SETBACK
- BR BRICK
- CB CATCH BASIN
- CBX CABLE BOX
- CL CENTER LINE
- CLF CHAIN LINK FENCE
- CM CADASTRAL MAP
- CMP CORRUGATED METAL PIPE
- C.O.A. CITY OF ATLANTA
- CO SAN. SEWER CLEANOUT
- CP CARPORT
- CPT CRIMP TOP PIPE FOUND
- D DEED
- DE DRAINAGE EASEMENT
- DI DRAINAGE INLET
- EB ELECTRIC POWER BOX
- EM ELECTRIC METER
- EP EDGE OF PAVEMENT
- F FIELD
- FC FENCE CORNER
- FH FIRE HYDRANT
- FP FENCE POST
- FR FRAME
- GL GAS LINE
- GM GAS METER
- GV GAS VALVE
- GW GUY WIRE
- HDW HEAD WALL
- HW HARDWOOD TREE
- ICM IRRIGATION CONTROL METER
- IPF IRON PIN FOUND
- IRP IRON PIN SET
- IR IRON ROD FOUND
- IRF IRON FENCE
- IM IRRIGATION METER
- IV IRRIGATION VALVE
- JB JUNCTION BOX
- LP LIGHT POLE
- LL LAND LIT LINE
- MAG MAGNETIC READING
- MGN MAGNOLIA TREE
- MH MAN HOLE
- MTF METAL FENCE
- N N'BORS.
- OTP OPEN TOP PIPE FOUND
- OJ OWNERSHIP UNCLEAR
- PC PROPERTY CORNER
- PL PROPERTY LINE
- PN PINE TREE
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PP POWER POLE
- PW POWER LINE
- (P) PLAT
- R RECORD
- RBF REINFORCING BAR FOUND
- RBS REINFORCING BAR SET
- RCP REINFORCED CONC. PIPE
- R/W RIGHT-OF-WAY
- SN SIGN
- SSL SANITARY SEWER LINE
- SSE SANITARY SEWER EASEMENT
- SP SCREENED PORCH
- SS TOP OF BANK
- TP TRAFFIC POLE
- UE UTILITY EASEMENT
- WD WOOD
- WDF WOOD DECK
- WL WATER LINE
- WML WATER METER
- WW WIRE FENCE
- WV WIRE VALVE
- WY WET WEATHER
- YI YARD INLET
- X-X FENCE
- INDICATES STAIRS
- INDICATES BUSHES

* LINE INDICATORS *

- INDICATES EASEMENT
- INDICATES FENCE LINE
- INDICATES POWER LINE
- INDICATES SANITARY SEWER LINE
- INDICATES DRAINAGE LINE
- INDICATES WATER LINE
- INDICATES GAS (FUEL/GAS/OIL)
- RED LINE (ELECTRICAL)
- ORANGE LINE (TELECOMM)

* SYMBOLS *

- ELECTRIC PANEL/METER
- WATER METER
- AIR CONDITIONER
- GAS METER
- WATER VALVE
- SANITARY SEWER MANHOLE
- STORM MANHOLE
- TRAFFIC/INFO SIGN
- GAS MARKER
- LAMP POST
- FIRE HYDRANT
- DRAINAGE INLET

EXIST. HOUSE FFE
MAIN 973.45

SSMH1 959.08
INV OUT 948.28

SSMH2 953.16
INV IN 943.26
INV OUT 943.16

SSMH3 938.07
INV IN 927.77
INV OUT 927.57



EROSION CONTROL LEGEND

Ds1	DISTURBED AREA STABILIZATION (W/ MULCHING ONLY)	Ds1	A TEMPORARY COVER OF PLANT RESIDUES APPLIED TO THE SOIL SURFACE FOR A PERIOD OF (6) MONTHS OR LESS WHEN SEEDING IS NOT PRACTICAL.
Ds2	DISTURBED AREA STABILIZATION (W/ TEMPORARY SEEDING)	Ds2	ESTABLISHING A TEMPORARY NEGATIVE COVER WITH FAST GROWING SEEDING ON DISTURBED AREAS. SEE EROSION CONTROL NOTES.
Ds3	DISTURBED AREA STABILIZATION (W/ PERMANENT VEGETATION)	Ds3	ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES OR LEGUMES ON DISTURBED AREAS. SEE ENLARGED PLANS

TREE PROTECTION: (Tr)

- ALL THE SAVE FENCING TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE AND MAINTAINED UNTIL THE FINAL LANDSCAPING IS INSTALLED.
- NO PARKING, STORAGE, OR OTHER ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
- KEEP OUT SIGN REQUIRED ON TREE SAVE FENCE, WRITTEN IN ENGLISH AND SPANISH.

INDICATES PROPOSED CONTOURS

1000
INDICATES EXISTING CONTOURS

THE PLACEMENT OF DUMPSTERS AND THE PARKING OF AUTOMOBILES IS PROHIBITED IN THE RIGHT-OF-WAY.

- (Co) CONSTRUCTION ENTRANCE/EXIT
- (Sd1-C) INDICATES Sd1 TYPE C SILT FENCE
- (Sd1-Hb) INDICATES Sd1 TYPE Hb HAYBALES
- (Tr) INDICATES TREE PROTECTION FENCE
- Ds1 DISTURBED AREA STABILIZATION (WITH MULCH)
- Ds2 DISTURBED AREA STABILIZATION (W/TEMPORARY VEGETATION)
- Ds3 DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)
- Ds4 DISTURBED AREA STABILIZATION (WITH SODDING)

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 - APR AS PER RECORD
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 - BLK BLOCK
 - BLS BUILDING LINE SETBACK
 - BR BRICK
 - BSMT BASEMENT
 - CBX CABLE BOX
 - C CONCRETE
 - CL CATCH BASIN
 - CL CENTER LINE
 - CLF CHAIN LINK FENCE
 - CMP CORRUGATED METAL PIPE
 - C.O.A. CITY OF ATLANTA
 - CO SAN SEWER CLEANOUT
 - CRWL CRAWL SPACE
 - CP CALCULATED POINT
 - CPRT CARPORT
 - CTP CRIMP TOP PIPE FOUND
 - DE DEED
 - DE DRAINAGE EASEMENT
 - DI DRAINAGE INLET
 - EB ELECTRIC POWER BOX
 - EM ELECTRIC METER
 - EP EDGE OF PAVEMENT
 - F FIELD
 - FP FENCE POST
 - FC FENCE CORNER
 - FH FIRE HYDRANT
 - FR FRAME
 - GL GAS LINE
 - GM GAS METER
 - GV GAS VALVE
 - GW GUY WIRE
 - HDW HEAD WALL
 - HW HARDWOOD TREE
 - IPF IRON PIN FOUND
 - IPS IRON PIN SET
 - IR IRON ROD FOUND
 - IRRGATION VALVE
 - IV JUNCTION BOX
 - LIB LAND LOT LINE
 - MAG MAGNETIC READING IP
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 - TB TOP OF BANK
 - UE UTILITY EASEMENT
 - WD WOOD
 - WDF WOOD FENCE
 - WDK WOOD DECK
 - WL WATER LINE
 - WM WATER METER
 - WRF WIRE FENCE
 - WV WATER VALVE
 - WV WET WEATHER
 - W WITH/
 - YI YARD INLET

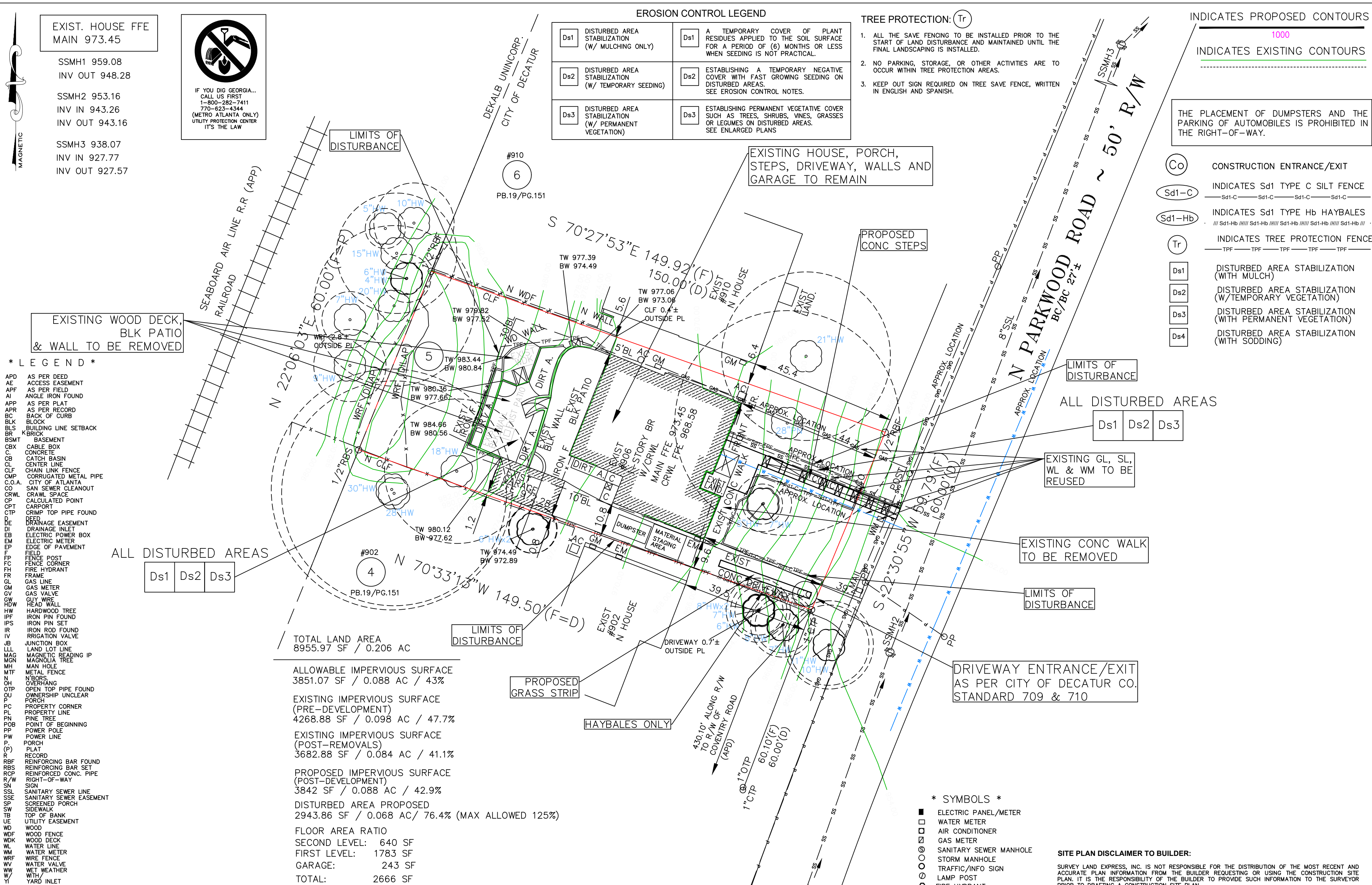
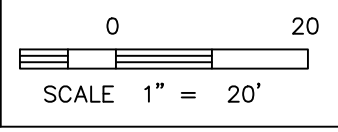
RELEASED FOR CONSTRUCTION

LOT 5	EROSION CONTROL, GRADING PLAN & TREE PLAN	
RE-SUBDIVISION OF PART OF CHELSEA HEIGHTS	SITE PLAN PREPARED FOR: SHEET 2 OF 3	
LAND LOT 4 18TH DISTRICT	FRIEDENTHAL GREENE	
DEKALB COUNTY, GEORGIA PB.19/P.G.151 DB.25980/P.G.605	PROPERTY ADDRESS: 906 N PARKWOOD ROAD DECATUR, GA 30030	
FIELD WORK DATE MARCH 30, 2023 PRINTED/SIGNED MARCH 11, 2024		
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED PAPER SIZE: 17" x 22"		
AU COORD #20230470 DWG #20230470 SP		

EROSION CONTROL, GRADING PLAN & TREE PLAN

24 LENOX POINTE
ATLANTA, GA 30324
FAX 404-601-0941
TEL 404-252-5747
INFO@SURVEYLANDEXPRESS.COM

IN ANY OPINION, THIS PLAN IS A CORRECT REPRESENTATION OF THE LAND PLATED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF LAW.



PERMITTED IMPERVIOUS SURFACE

ALLOWABLE IMPERVIOUS SURFACE	3851.07 SF / 0.088 AC / 43%
EXISTING IMPERVIOUS SURFACE (PRE-DEVELOPMENT)	4268.88 SF / 0.098 AC / 47.7%
EXISTING IMPERVIOUS SURFACE (POST-REMOVALS)	3682.88 SF / 0.084 AC / 41.1%
PROPOSED IMPERVIOUS SURFACE (POST-DEVELOPMENT)	3842 SF / 0.088 AC / 42.9%
DISTURBED AREA PROPOSED	2943.86 SF / 0.068 AC / 76.4% (MAX ALLOWED 125%)

FLOOR AREA RATIO

SECOND LEVEL:	640 SF
FIRST LEVEL:	1783 SF
GARAGE:	243 SF
TOTAL:	2666 SF

- * SYMBOLS *
- ELECTRIC PANEL/METER
 - WATER METER
 - AIR CONDITIONER
 - GAS METER
 - ⊗ SANITARY SEWER MANHOLE
 - STORM MANHOLE
 - TRAFFIC/INFO SIGN
 - LAMP POST
 - FIRE HYDRANT
 - WATER VALVE
 - ⊗ STAIRS
 - ⊗ DRAINAGE INLET
- * LINE INDICATORS *
- SS — SS — SS — SS — INDICATES SANITARY SEWER LINE
 - P — P — P — P — INDICATES POWER LINE
 - W — W — W — W — INDICATES WATER LINE
 - GAS — GAS — GAS — GAS — INDICATES GAS LINE
 - X — X — X — X — INDICATES FENCE LINE
 - — — — — INDICATES DRAINAGE LINE

SITE PLAN DISCLAIMER TO BUILDER:

SURVEY LAND EXPRESS, INC. IS NOT RESPONSIBLE FOR THE DISTRIBUTION OF THE MOST RECENT AND ACCURATE PLAN INFORMATION FROM THE BUILDER REQUESTING OR USING THE CONSTRUCTION SITE PLAN. IT IS THE RESPONSIBILITY OF THE BUILDER TO PROVIDE SUCH INFORMATION TO THE SURVEYOR PRIOR TO DRAFTING A CONSTRUCTION SITE PLAN.

BUILDER IS REQUIRED TO CHECK AND CONFIRM WITH THE ARCHITECT AND/OR OTHER DESIGN PROFESSIONAL(S) USED IN CREATING THE BUILDING FLOOR PLANS REGARDING ANY CHANGES, ALTERATIONS, AND/OR REVISIONS TO THE BUILDING FLOOR PLANS ONCE THEY ARE SUPPLIED TO THE SURVEYOR AND THROUGHOUT THE PERMITTING AND CONSTRUCTION PROCESS.

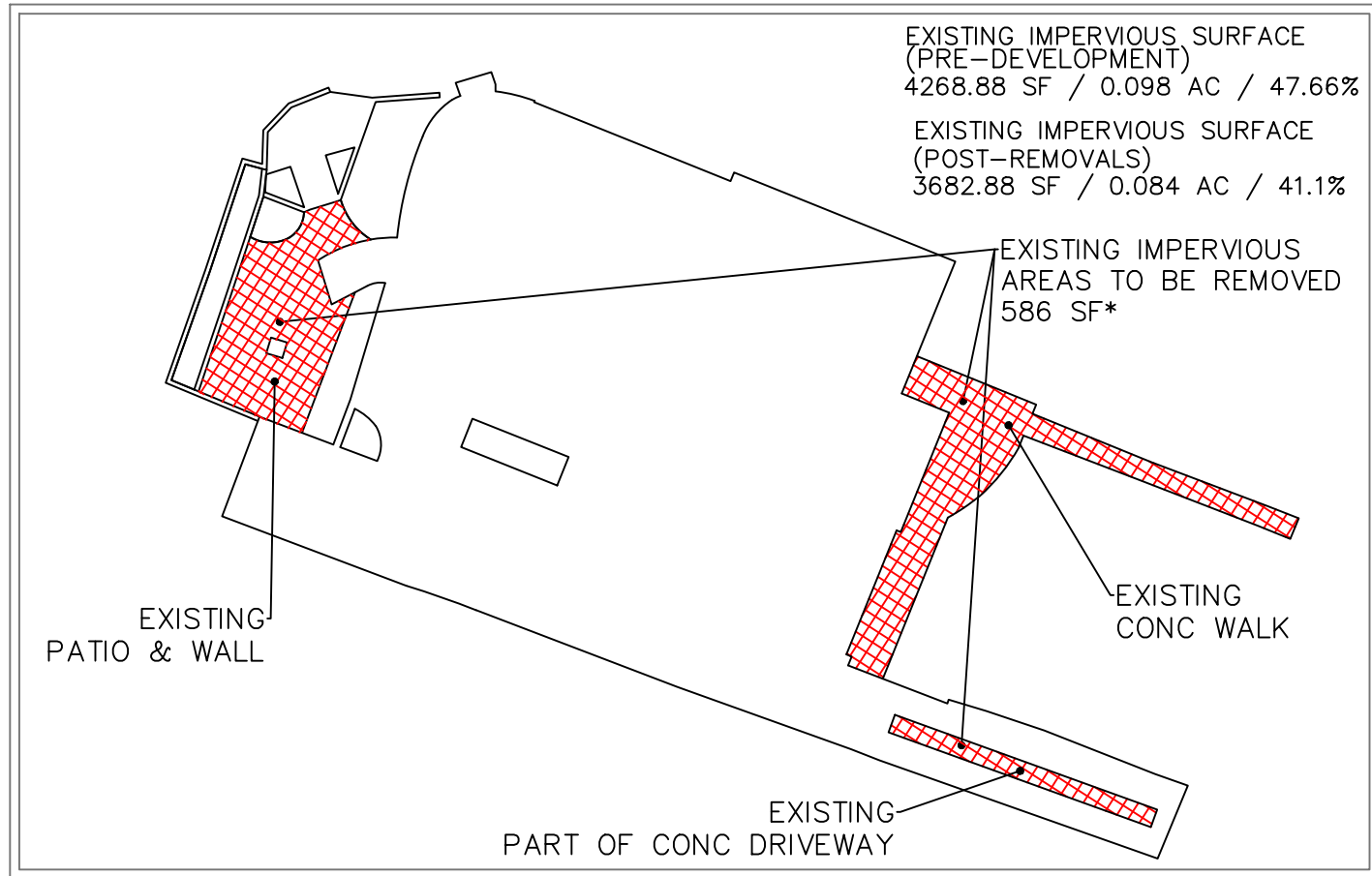
BUILDER IS REQUIRED TO CONSULT WITH THE ARCHITECT AND/OR OTHER DESIGN PROFESSIONAL(S) USED IN CREATING THE FLOOR PLANS REGARDING ALL PROPOSED DESIGN ELEMENTS, INCLUDING BUT NOT LIMITED TO: FINISHED FLOOR ELEVATIONS; NUMBER OF FLOOR LEVELS; PROPOSED GRADING; RETAINING WALLS; MATERIAL TYPES; ALL IMPERVIOUS ACCESSORY SURFACES ADJACENT TO THE BUILDING; ALL DESIGN ELEMENTS THROUGHOUT THE PROJECT SITE. IT IS CRITICAL THAT THIS DUE DILIGENCE BY THE BUILDER BE DONE BY COMPARING ALL DESIGN ELEMENTS TO ANY 3D RENDERINGS AND/OR SIDE ELEVATIONS PROFILES CREATED BY THE ARCHITECT AND/OR OTHER PROFESSIONAL(S) PRIOR TO SUPPLYING TO THE SURVEYOR.

IT IS THE RESPONSIBILITY OF THE END USER TO VERIFY THE INFORMATION ON THE SITE PLAN IS TRUE AND CORRECT PRIOR TO SUBMITTING THE SITE PLAN FOR PERMITTING AND PRIOR TO CONSTRUCTING THE NEW IMPROVEMENTS.

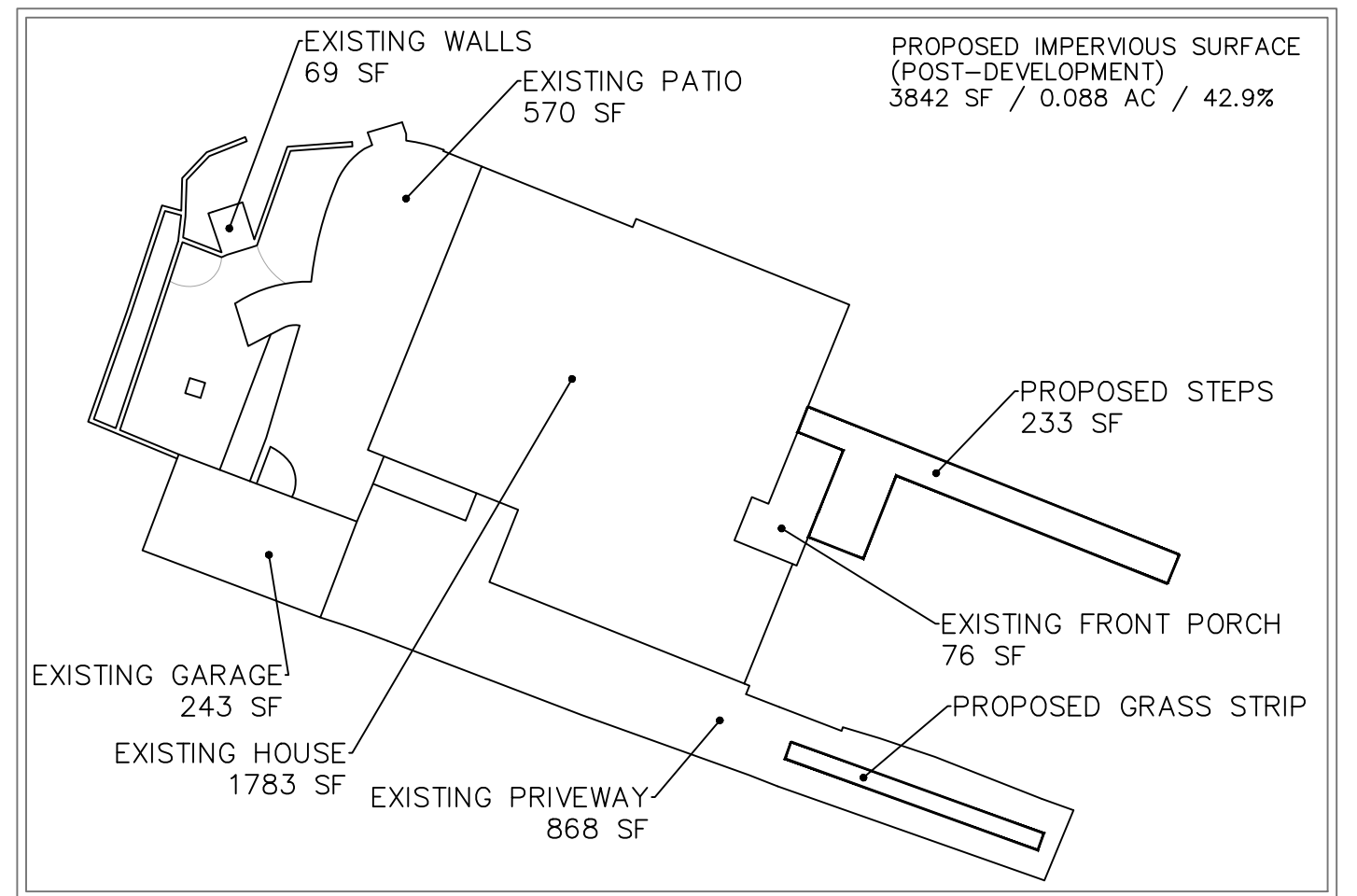
SURVEY LAND EXPRESS, INC. CANNOT BE HELD LIABLE FOR ANY DELAY THROUGHOUT THE PROJECT SCHEDULE DUE TO FAILURE BY THE BUILDER TO MEET ANY ONE OF THE ABOVE REQUIREMENTS.

SURVEY LAND EXPRESS, INC. CANNOT BE HELD LIABLE FOR ANY UNDESIRABLE AND/OR ERRONEOUS CONSTRUCTION ONCE THE SITE PLAN IS RELEASED AND/OR IMPROVEMENTS ARE STAKED PER SAID SITE PLAN DUE TO FAILURE BY THE BUILDER TO MEET ANY ONE OF THE ABOVE REQUIREMENTS.

EXISTING LOT COVERAGE AREA DETAILS
(PRE-DEVELOPMENT & POST-REMOVALS)



PROPOSED LOT COVERAGE AREA DETAILS
(POST-DEVELOPMENT)



PROPOSED LOT COVERAGE:

EXISTING HOUSE:	1783 SF
EXISTING PATIO:	570 SF
EXISTING WALLS:	69 SF
EXISTING GARAGE:	243 SF
EXISTING DRIVEWAY:	868 SF
EXISTING FRONT PORCH:	76 SF
SUB-TOTAL:	3609 SF
PROPOSED STEPS:	233 SF
SUB-TOTAL:	233 SF
TOTAL:	3,842 SF

NEW IMPERVIOUS AREAS = 233 SF
REQUIRES NEW STORMWATER MANAGEMENT BMPs

RELEASED FOR CONSTRUCTION

MISC. DETAILS

LOT 5	SITE PLAN PREPARED FOR:	SHEET 3 OF 3
RE-SUBDIVISION OF PART OF CHELSEA HEIGHTS	FRIEDENTHAL GREENE	
LAND LOT 4 18TH DISTRICT	PROPERTY ADDRESS:	
DEKALB COUNTY, GEORGIA PB.19/P.G.151 DB.25980/P.G.605	906 N PARKWOOD ROAD	
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AU COORD #20230470 DWG #20230470 SP	SURVEY LAND EXPRESS, INC LAND SURVEYING SERVICES	24 LENOX POINTE ATLANTA, GA 30324 FAX 404-601-0941 TEL 404-252-5747 INFO@SURVEYLANDEXPRESS.COM

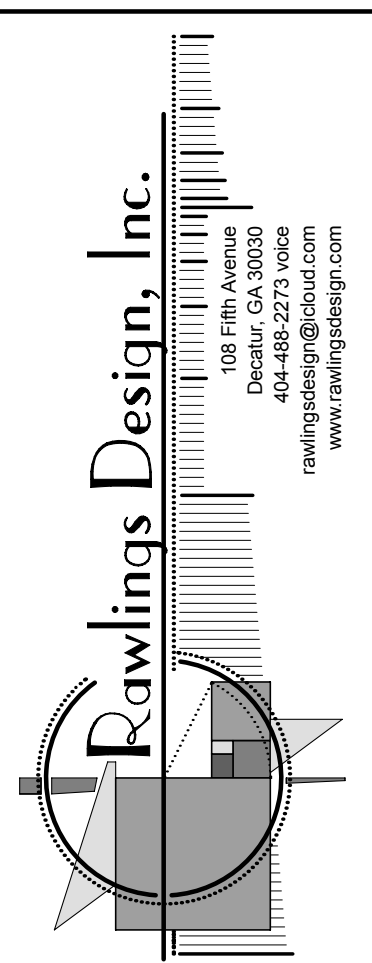
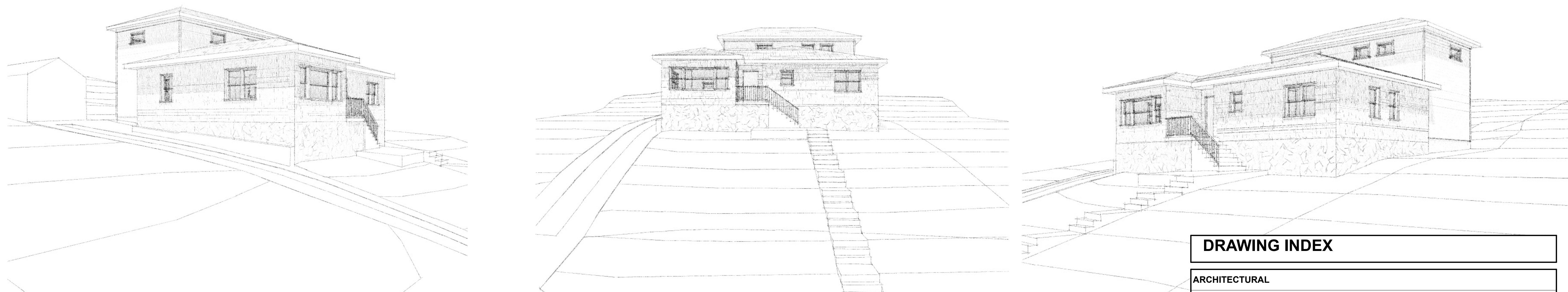
IN MY OPINION, THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF LAW.

FRIEDENTHAL-GREENE RESIDENCE

CITY OF DECATUR

SINGLE FAMILY DWELLING - RENOVATION

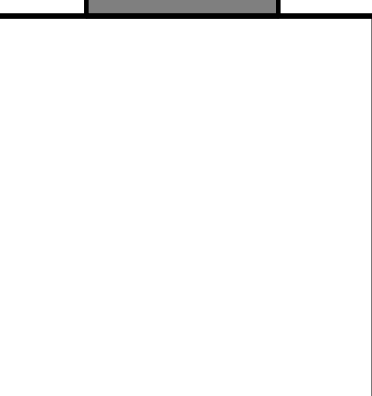
NATHANIEL & SARAH FRIEDENTHAL-GREENE



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Revisions

Drawing Date:
1/17/24

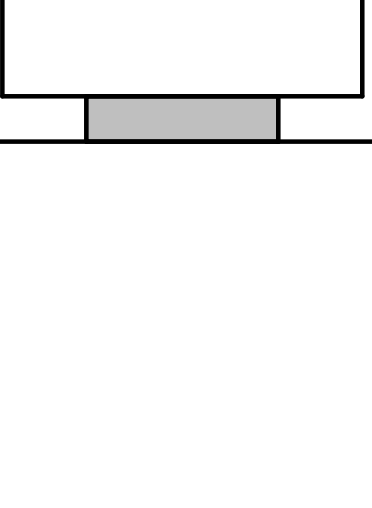


RELEASED FOR CONSTRUCTION

Project Number:
2320

FRIEDENTHAL-GREENE RESIDENCE
 906 NORTH PARKWOOD ROAD
 DECATUR, GA 30030
NATHANIEL & SARAH FRIEDENTHAL-GREENE

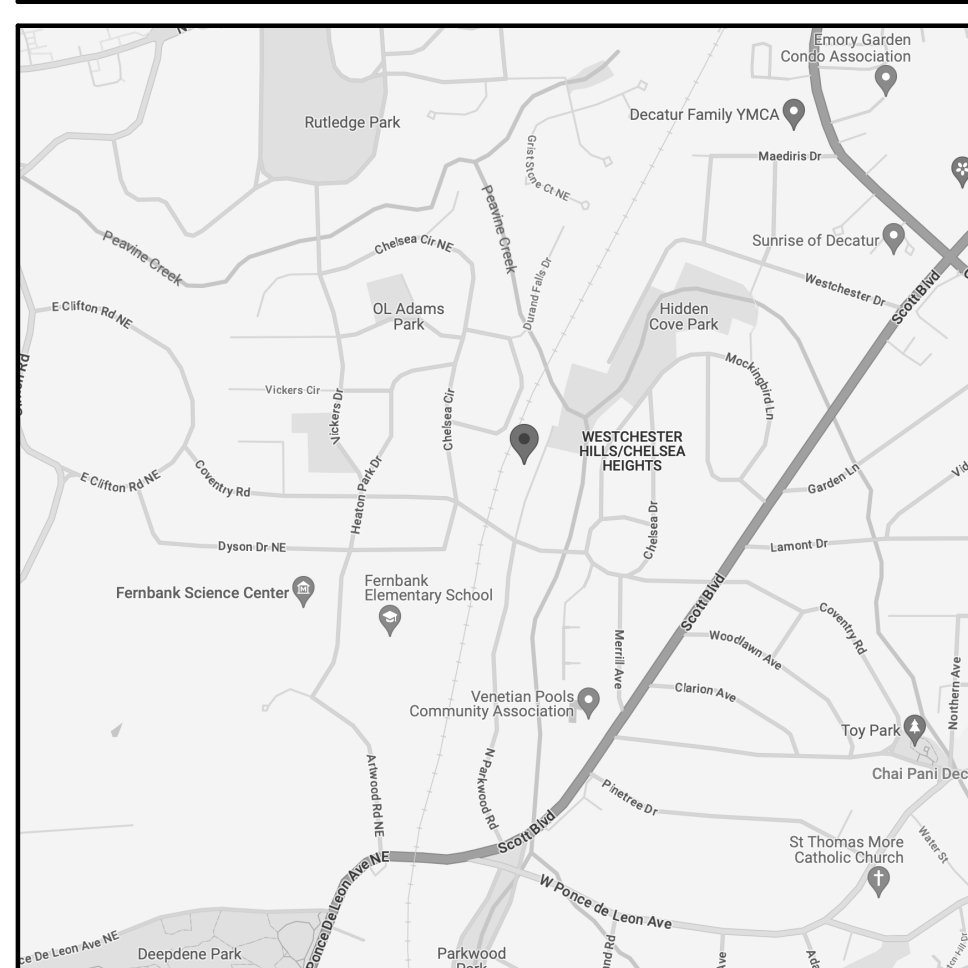
Drawing Description:



DRAWING INDEX

ARCHITECTURAL	
A-1.1	Site Plan
A-2.1	Demolition Plan
A-2.2	Floor Plans
A-2.3	Floor Plans
A-3.1	Exterior Elevations
A-3.2	Exterior Elevations
A-4.1	Building Sections

VICINITY MAP



GENERAL NOTES:	CODE INFORMATION:	ABBREVIATIONS:	GRAPHIC SYMBOLS:
<p>1. G.C. SHALL VISIT JOB SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BEFORE SUBMITTING BID. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND THE EXISTING CONDITIONS SHALL BE BROUGHT TO THE ATTENTION TO THE OWNER AND ARCHITECT BY THE G.C. PRIOR TO THE START OF ANY WORK.</p> <p>2. G.C. SHALL COORDINATE ALL WORK TO BE PERFORMED. G.C. IS TO COORDINATE WORKING HOURS, DELIVERIES, TRASH REMOVAL, STORAGE, ETC. WITH THE OWNER.</p> <p>3. G.C. SHALL REMOVE ALL DEBRIS AND LEAVE JOB SITE CLEAN UPON COMPLETION OF WORK.</p> <p>4. G.C. SHALL BEAR FULL RESPONSIBILITY AND COSTS FOR THE FOLLOWING: - ALL PERMITS, LICENSES, AND FEES.</p> <p>5. PRIOR TO BEGINNING WORK THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. SHOULD DAMAGE OCCUR TO ANY UTILITIES AS A RESULT OF CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL BEAR RESPONSIBILITY FOR REPAIRS AND ALL COSTS.</p> <p>6. CONSULT WITH OWNER FOR ALL EQUIPMENT, FIXTURE, & FINISH SELECTIONS.</p> <p>7. ELECTRICAL CONTRACTOR TO PROVIDE ALL REQUIRED INFORMATION TO JURISDICTION FOR ALL ELECTRICAL SYSTEMS, PANELS, AND EQUIPMENT INCLUDING SIZE OF SERVICE AND LOCATION OF EQUIPMENT.</p> <p>8. MECHANICAL CONTRACTOR TO PROVIDE ALL REQUIRED INFORMATION TO JURISDICTION FOR ALL MECHANICAL SYSTEMS INCLUDING SIZE OF DUCTS, TYPE AND SIZE OF MECHANICAL EQUIPMENT AND LOCATION OF ALL EQUIPMENT.</p> <p>9. PLUMBING CONTRACTOR TO PROVIDE ALL REQUIRED INFORMATION TO JURISDICTION FOR ALL PLUMBING SYSTEMS INCLUDING TYPE, SIZE, AND LOCATION OF COMPONENTS ASSOCIATED WITH PLUMBING SYSTEMS</p>	<p>PROJECT DESCRIPTION SINGLE FAMILY DWELLING - RENOVATION</p> <p>JURISDICTION CITY OF DECATUR</p> <p>APPLICABLE CODES INCLUDE AND NOT LIMITED TO: 2018 INTERNATIONAL BUILDING CODE W/ 2020 GA AMENDMENTS 2018 INTERNATIONAL RESIDENTIAL CODE FOR ONE & TWO-FAMILY DWELLINGS W/ 2020 GA AMENDMENTS 2018 INTERNATIONAL PLUMBING CODE W/ 2020 GA AMENDMENTS 2018 INTERNATIONAL MECHANICAL CODE W/ 2020 GA AMENDMENTS 2018 INTERNATIONAL FUEL GAS CODE W/ 2020 GA AMENDMENTS 2015 INTERNATIONAL ENERGY CONSERVATION CODE W/ 2020 GA AMENDMENTS 2018 INTERNATIONAL EXISTING BUILDING CODE W/ 2015 GA AMENDMENTS 2018 INTERNATIONAL FIRE CODE W/ GA AMENDMENTS 2020 NFPA NATIONAL ELECTRICAL CODE W/ NO GA AMENDMENTS 2018 NFPA LIFE SAFETY CODE W/ 2020 GA AMENDMENTS GEORGIA HANDICAPPED ACCESSIBILITY LAW 120-3-20</p> <p>FLOOR AREA CALCULATION: HOUSE SECOND 640 FIRST 1783 SUB-TOTAL 2423 sq ft GARAGE 243 TOTAL 2666 sq ft</p> <p>BUILDING HEIGHT: TWO STORY: 29'-1"</p> <p>OCCUPANCY CLASSIFICATION: SINGLE FAMILY RESIDENCE</p> <p>OCCUPANT LOAD: N/A</p> <p>CONSTRUCTION TYPE: TYPE VB</p>	<p>AFF. ALUM. ABOVE FINISHED FLOOR ALUM. ALUMINUM CJ. CONTROL JOINT CL. CENTER LINE CLG. CEILING CLR. CLEAR CO. CARBON MONOXIDE DETECTOR CONC. CONCRETE CONT. CONTINUOUS DS. DOWNSPOUT EJ. EXPANSION JOINT EP. ELECTRICAL PANEL EQ. EQUAL EQUIP. EQUIPMENT EX. EXTERIOR EXT. EXISTING FD. FLOOR DRAIN FFE. FINISH FLOOR ELEVATION G.C. GENERAL CONTRACTOR GALV. GALVANIZED GYP. BD. GYPSUM BOARD MFR. MANUFACTURER N.I.C. NOT IN CONTRACT P.T. PRESSURE TREATED O.C. ON CENTER REV. REVERSE SD. SMOKE DETECTOR SPECS. SPECIFICATIONS TYP. TYPICAL</p>	<p>1 A-1</p> <p>1 A-1</p> <p>1 A-1</p> <p>1 A-1</p> <p>1 A-1</p> <p>DETAIL REFERENCE</p> <p>SECTION REFERENCE</p> <p>EXTERIOR ELEVATION REFERENCE</p> <p>INTERIOR ELEVATION REFERENCE</p>

ZONING DISTRICT:
CITY OF DECATUR - R60

TOTAL LOT AREA:
8,955.97 sq ft

MAXIMUM LOT COVERAGE:
8956 X 0.43 = 3851 sq ft

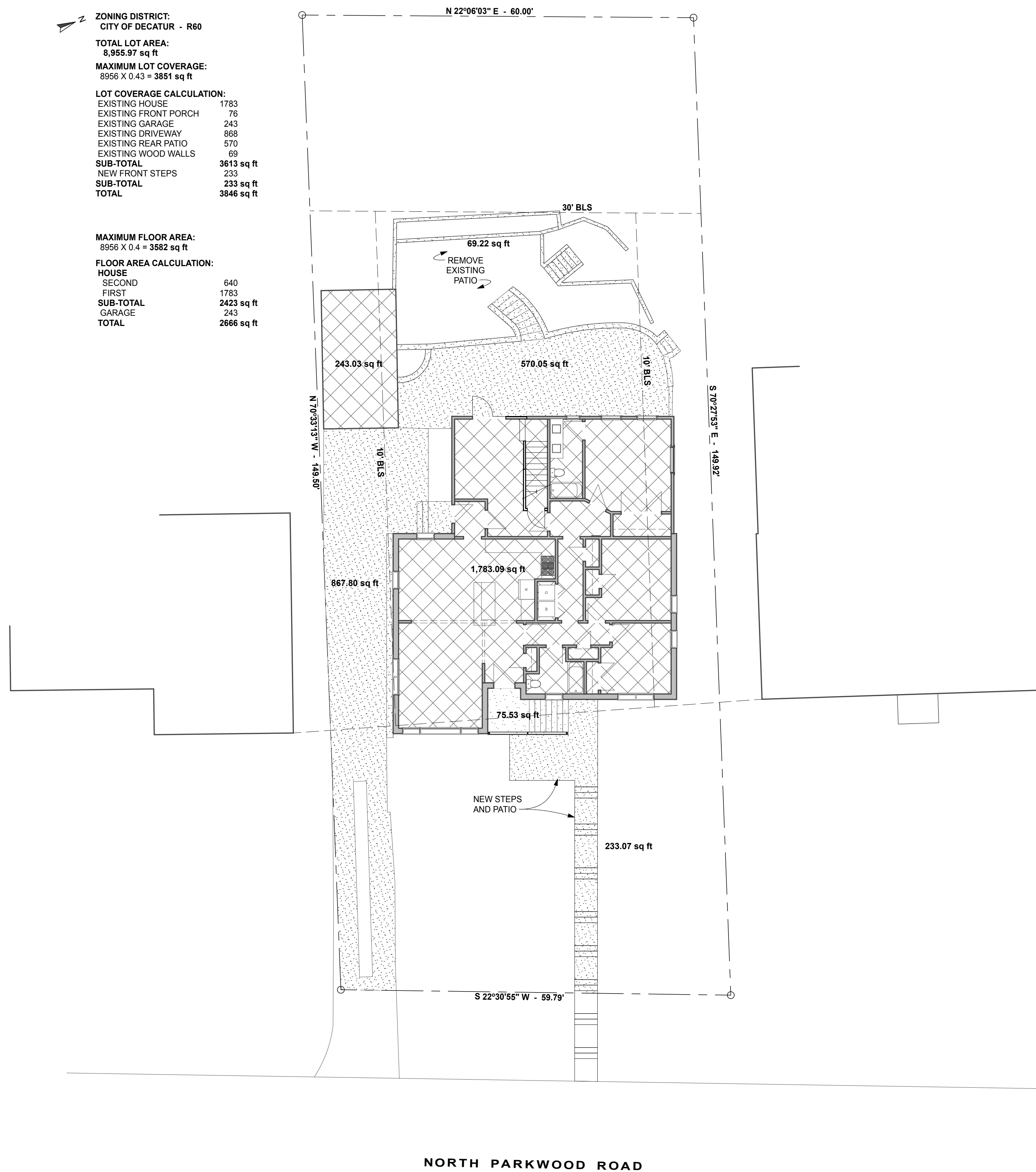
LOT COVERAGE CALCULATION:

EXISTING HOUSE	1783
EXISTING FRONT PORCH	76
EXISTING GARAGE	243
EXISTING DRIVEWAY	868
EXISTING REAR PATIO	570
EXISTING WOOD WALLS	69
SUB-TOTAL	3613 sq ft
NEW FRONT STEPS	233
SUB-TOTAL	233 sq ft
TOTAL	3846 sq ft

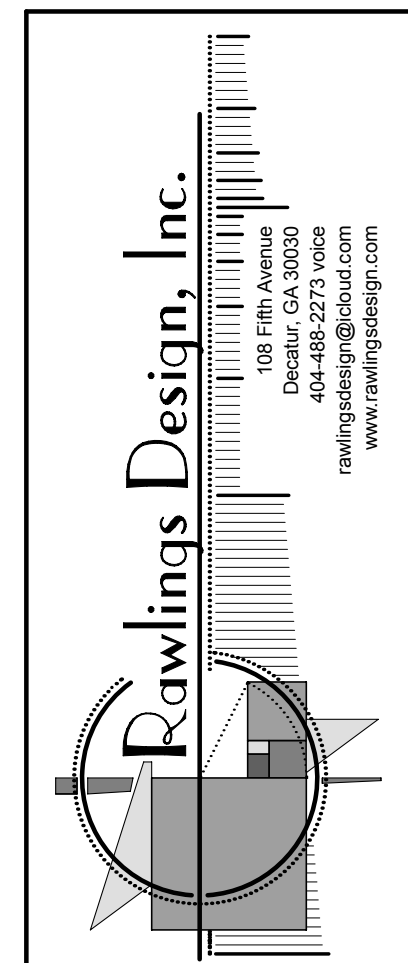
MAXIMUM FLOOR AREA:
8956 X 0.4 = 3582 sq ft

FLOOR AREA CALCULATION:

HOUSE	640
SECOND	1783
FIRST	1783
SUB-TOTAL	2423 sq ft
GARAGE	243
TOTAL	2666 sq ft



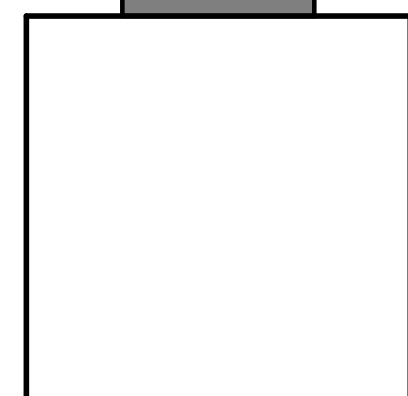
1 SITE PLAN
SCALE: 1" = 10'



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Revisions

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1/17/24



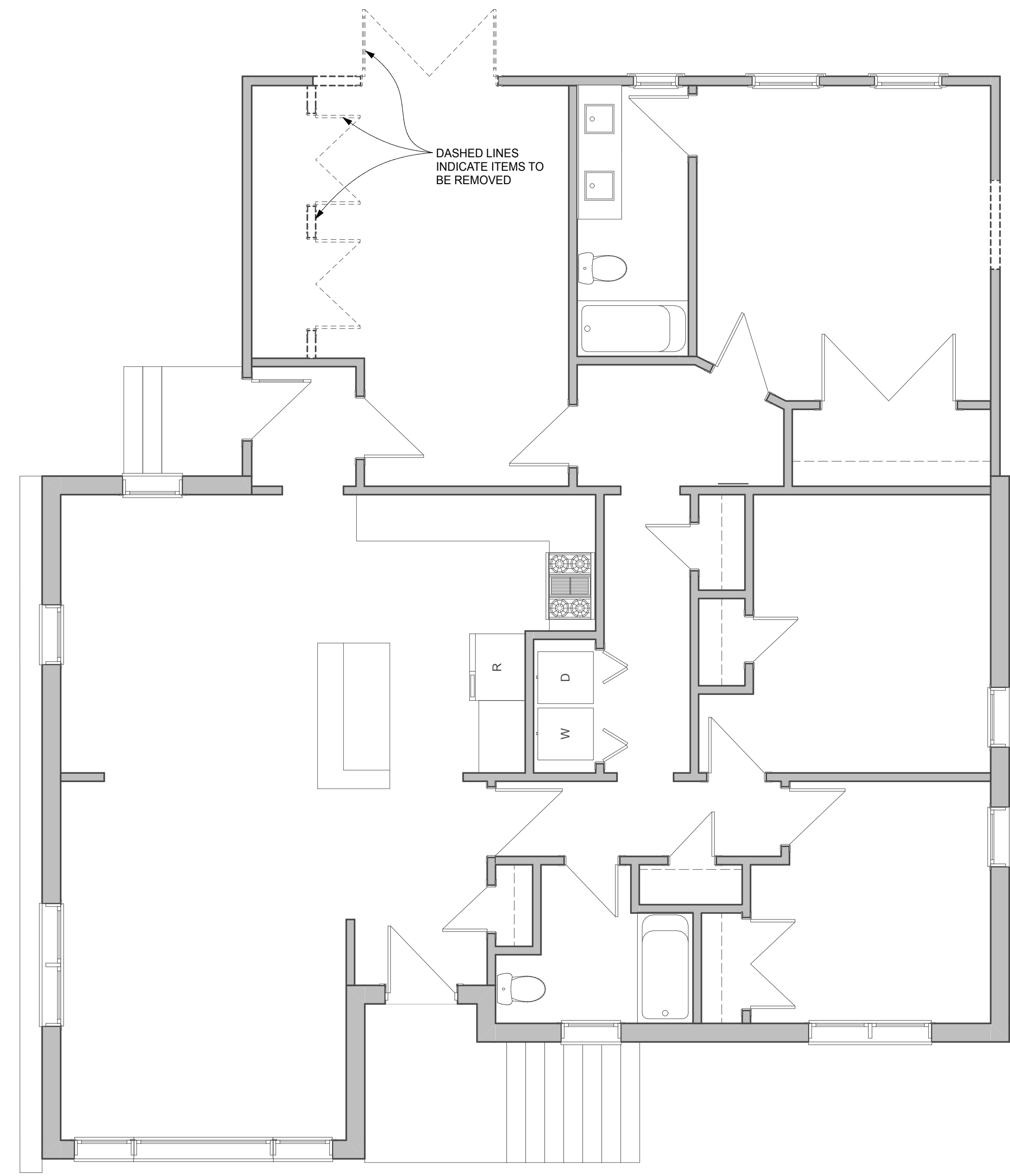
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Project Number:
2320

FRIEDENTHAL-GREENE RESIDENCE
906 NORTH PARKWOOD ROAD
DECATUR, GA 30030
NATHANIEL & SARAH FRIEDENTHAL-GREENE

Drawing Description:
Site Plan

A-1.1



1 FIRST LEVEL DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"



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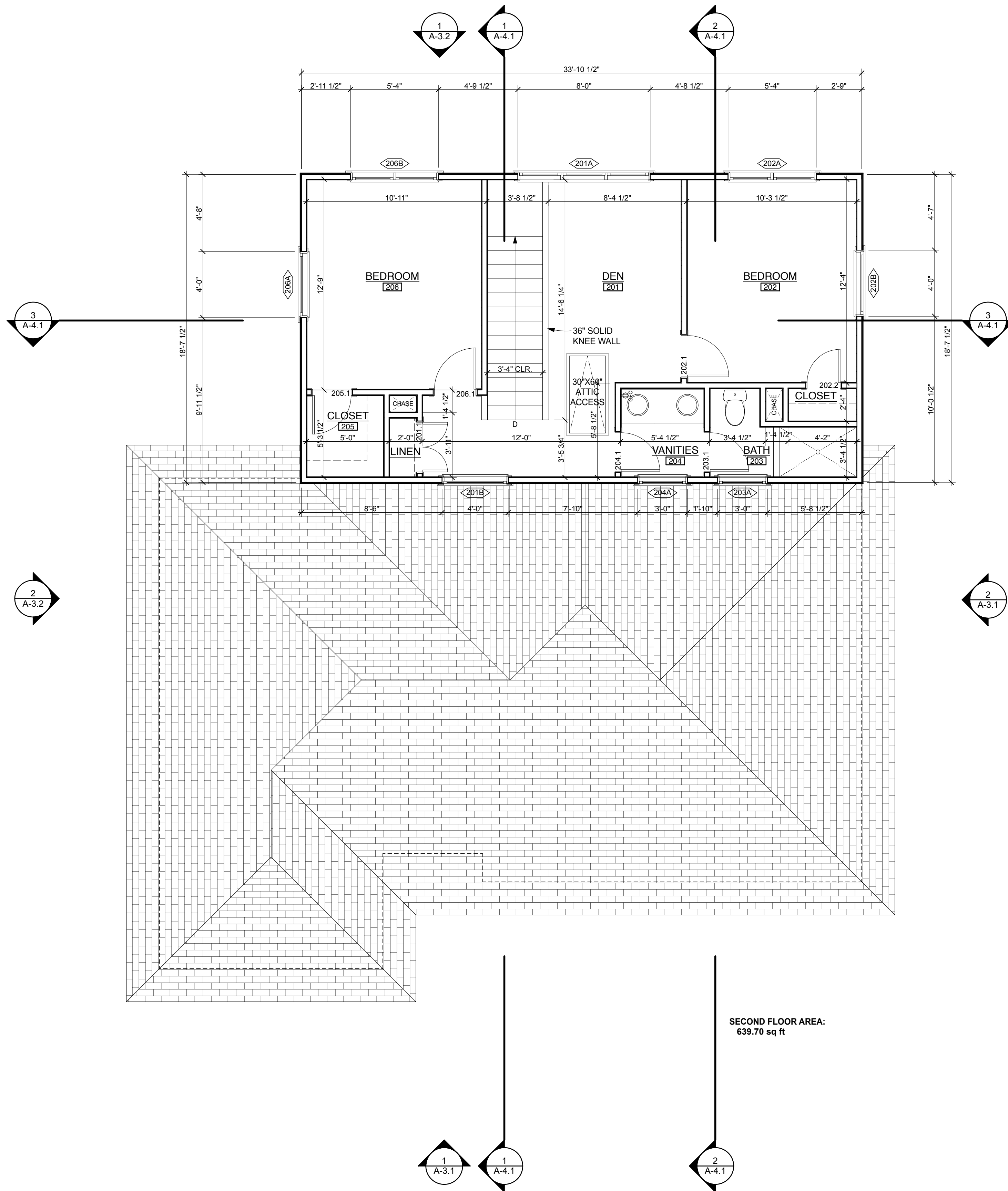
FRIEDENTHAL-GREENE RESIDENCE
 906 NORTH PARKWOOD ROAD
 DECATUR, GA 30030
NATHANIEL & SARAH FRIEDENTHAL-GREENE

Drawing Description:
Demolition Plan

A-2.1

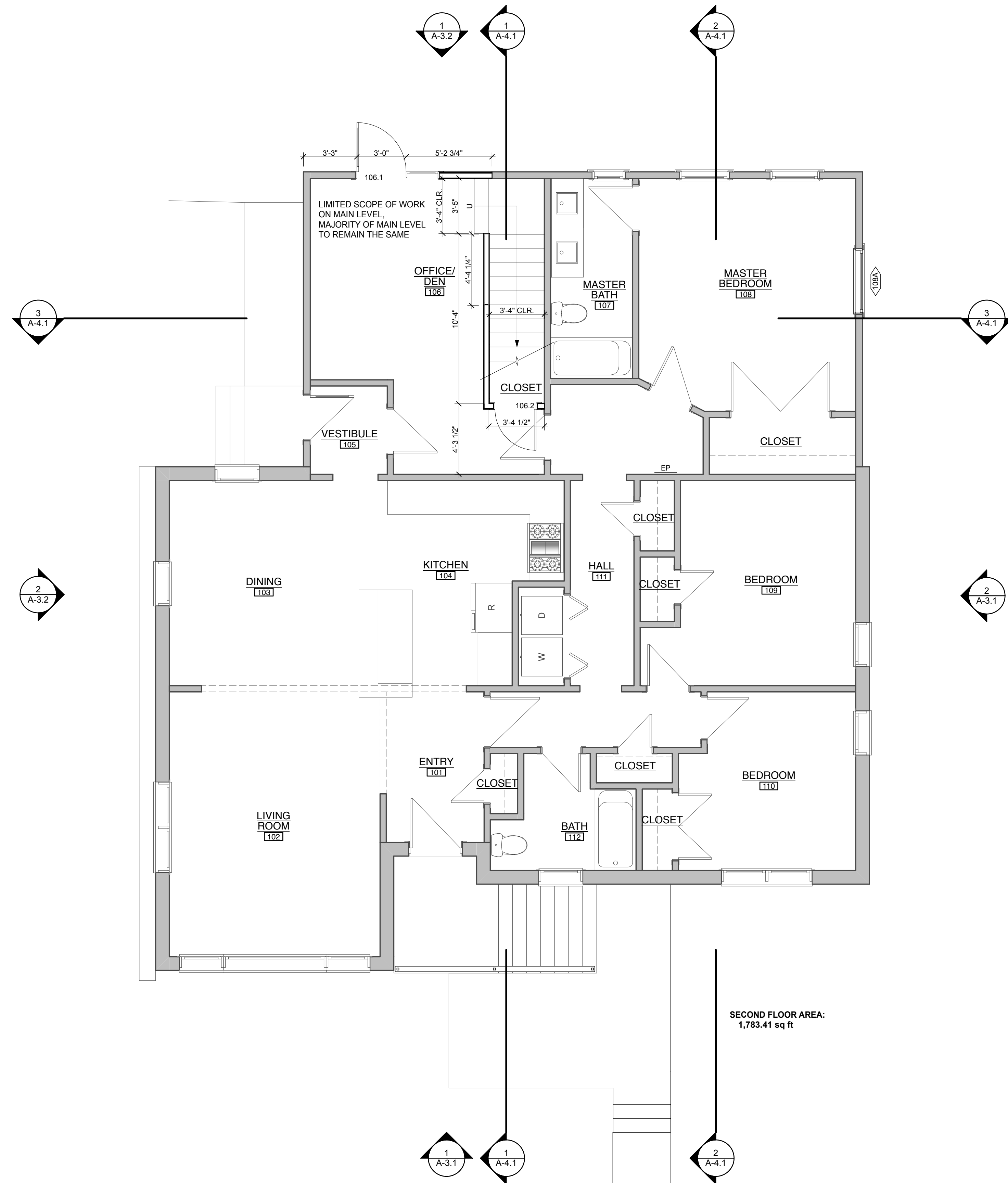
DOOR SCHEDULE											
NO.	WIDTH	HEIGHT	DOOR			FRAME			REMARKS		
			TYPE	LABEL	MATERIAL	TYPE	HEAD	JAMB			
106.1	3'-0"	6'-8"									
106.2	2'-6"	6'-8"									
201.1	3'-0"	6'-8"									
202.1	2'-6"	6'-8"									
202.2	2'-0"	6'-8"									
203.1	2'-4"	6'-8"									
204.1	2'-4"	6'-8"									
205.1	2'-4"	6'-8"									
206.1	2'-6"	6'-8"									

WINDOW SCHEDULE													
NO.	WIDTH	HEIGHT	ELEV	TYPE	MATERIAL	FINISH	GLAZING	DETAILS				REMARKS	
								HEAD	JAMB	SILL	MULLION		
108A	4'-0"	2'-0"											
201A	8'-0"	3'-0"					TEMPERED						
201B	4'-0"	2'-0"					TEMPERED						
202A	5'-4"	5'-2"										EGRESS	
202B	4'-0"	2'-0"					TEMPERED						
203A	3'-0"	2'-0"					TEMPERED						
204A	3'-0"	2'-0"					TEMPERED						
206A	4'-0"	2'-0"											
206B	5'-4"	5'-2"										EGRESS	



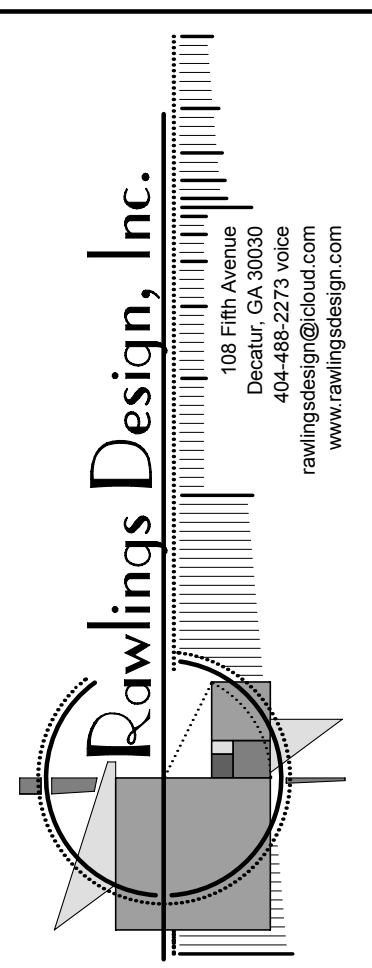
SECOND FLOOR AREA:
639.70 sq ft

2 SECOND LEVEL PLAN
SCALE: 1/4" = 1'-0"



SECOND FLOOR AREA:
1,783.41 sq ft

1 FIRST LEVEL PLAN
SCALE: 1/4" = 1'-0"



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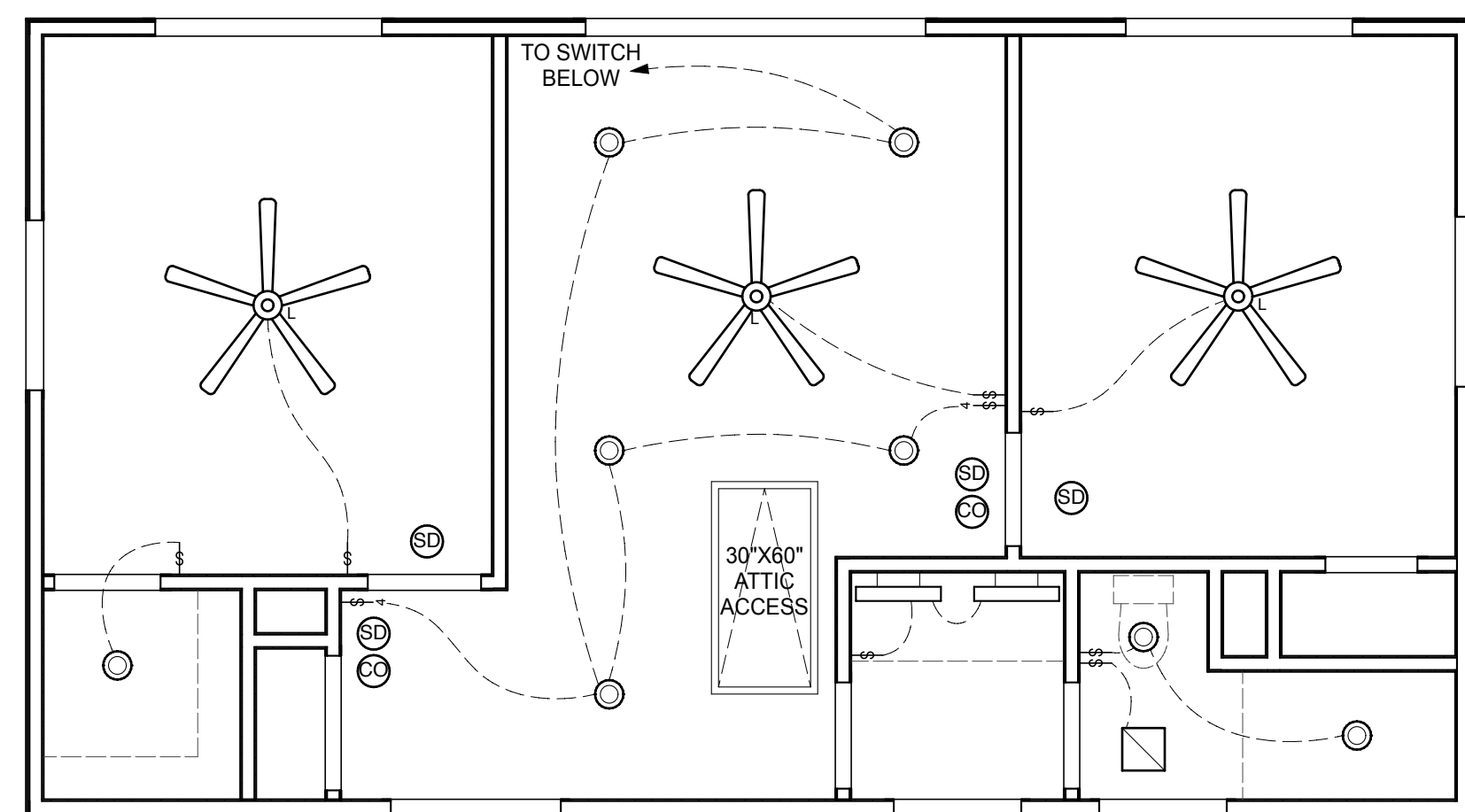
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2320

FRIEDENTHAL-GREENE RESIDENCE
906 NORTH PARKWOOD ROAD
DECATUR, GA 30030
NATHANIEL & SARAH FRIEDENTHAL-GREENE

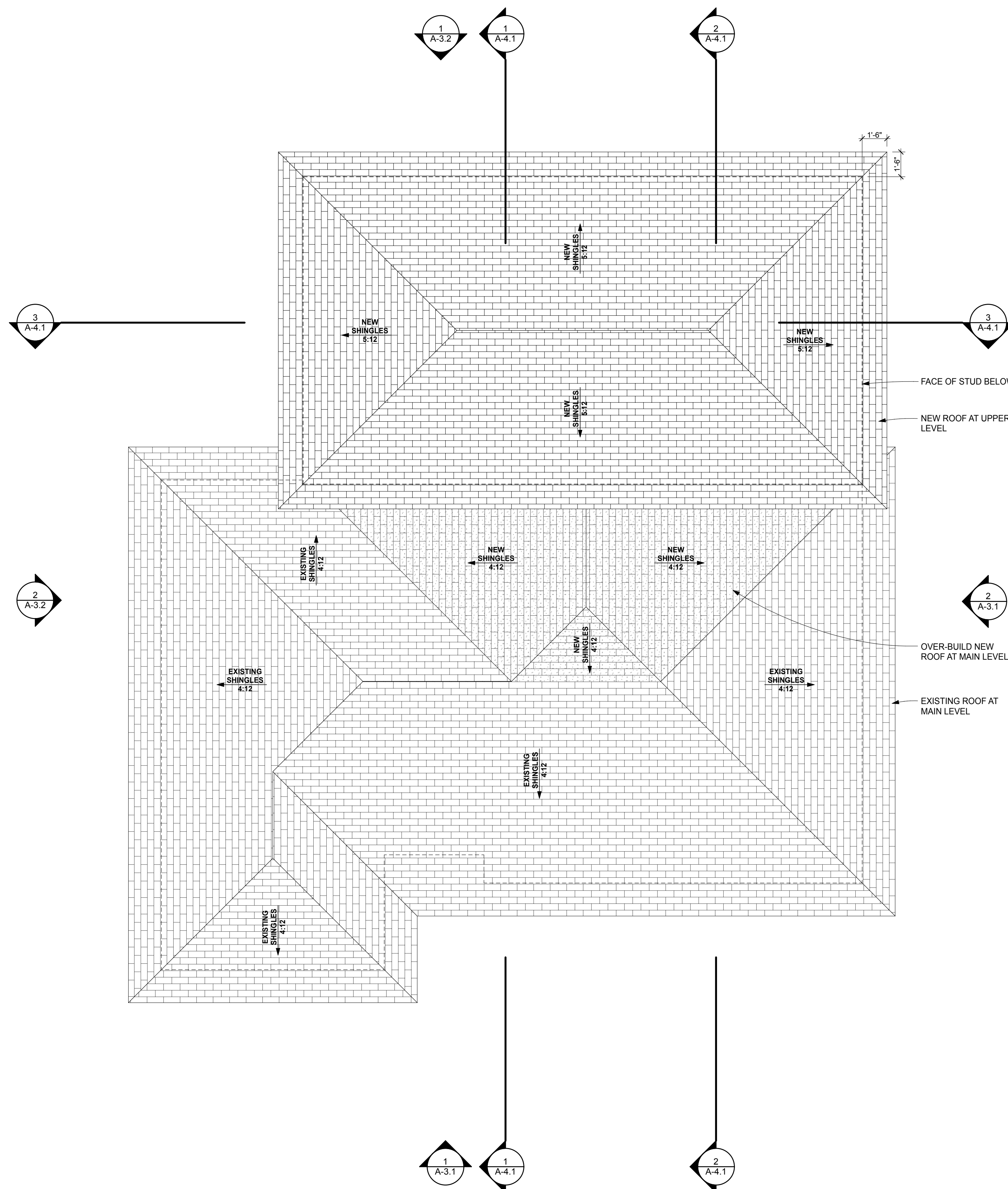
Drawing Description:
Floor Plans

A-2.2

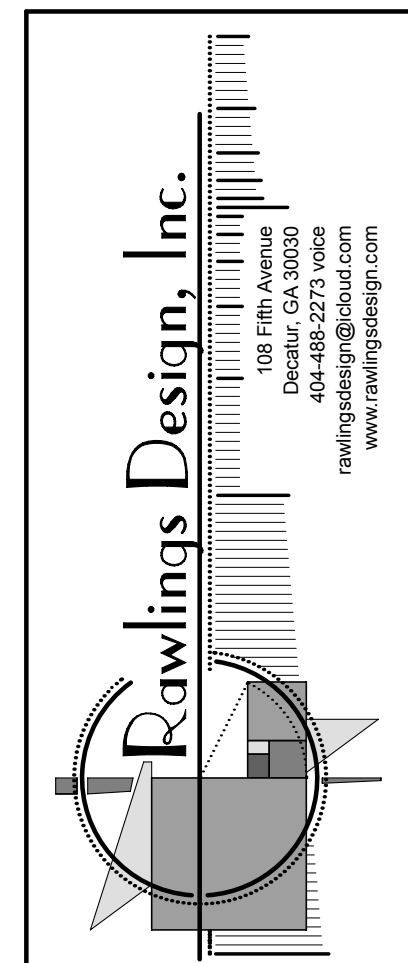
REFLECTED CEILING PLAN LEGEND	
CAN LIGHT FIXTURE - 6"	
CAN LIGHT FIXTURE - 6" WALL WASHER	
CAN LIGHT FIXTURE - 4"	
CAN LIGHT FIXTURE - 4" WALL WASHER	
PENDANT LIGHT FIXTURE	
VANITY LIGHT FIXTURE	
2X4 FLUORESCENT LIGHT FIXTURE	
2X2 FLUORESCENT LIGHT FIXTURE	
SURFACE MOUNTED SINGLE BULB FLUORESCENT LIGHT FIXTURE	
WALL MOUNTED FIXTURE	
WALL MOUNTED SECURITY LIGHT FIXTURE	
WALL SCONSE LIGHT FIXTURE	
STEP LIGHT FIXTURE	
TRACK LIGHT FIXTURE, "LV" INDICATES LOW VOLTAGE	
LED TAPE/ ROPE LIGHT FIXTURE	
EXHAUST FAN, "L" INDICATES LIGHT KIT	
SMOKE DETECTOR	
CARBON MONOXIDE DETECTOR	
JUNCTION BOX	
CEILING FAN, "L" INDICATES LIGHT KIT	
LIGHT SWITCH - SINGLE, 3 WAY, 4 WAY, JAMB SWITCH	



2 SECOND LEVEL REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



1 ROOF PLAN
SCALE: 1/4" = 1'-0"



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Revisions

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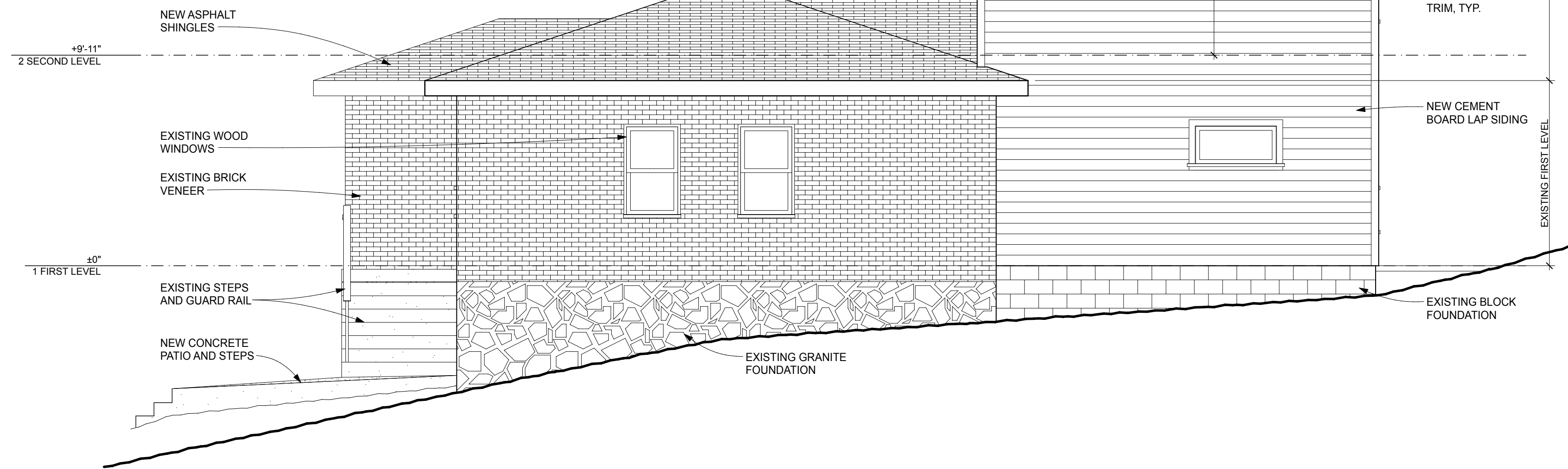
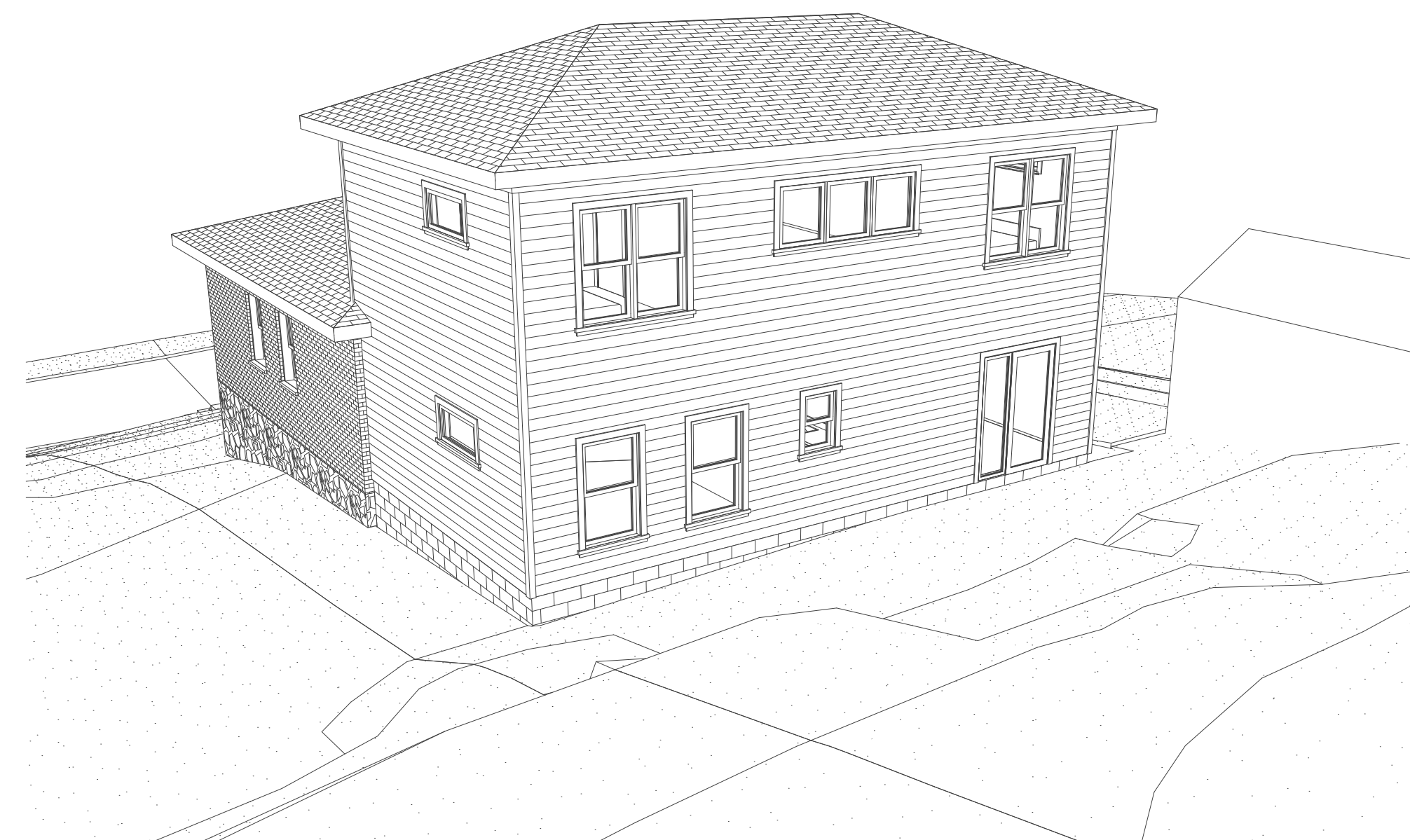
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2320

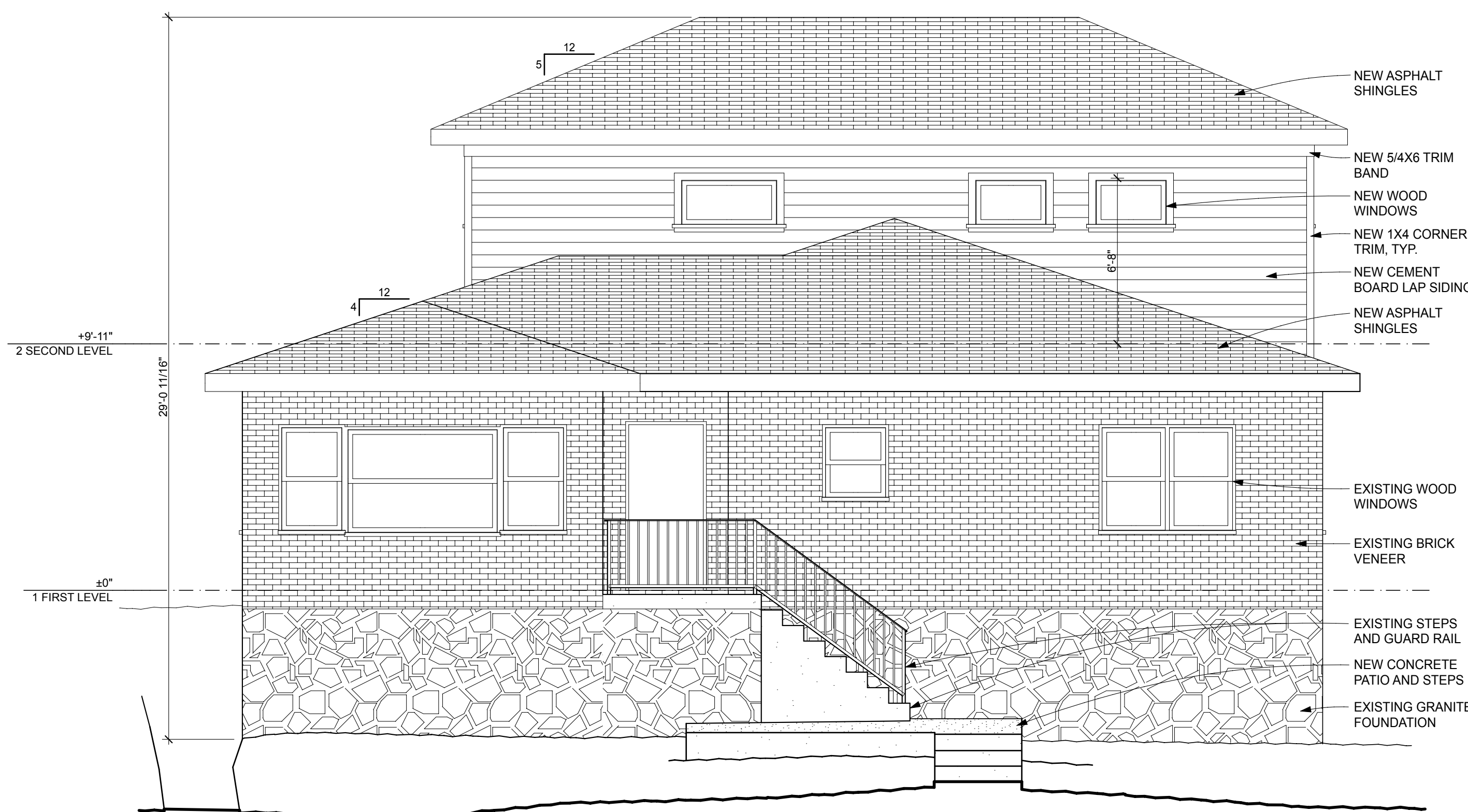
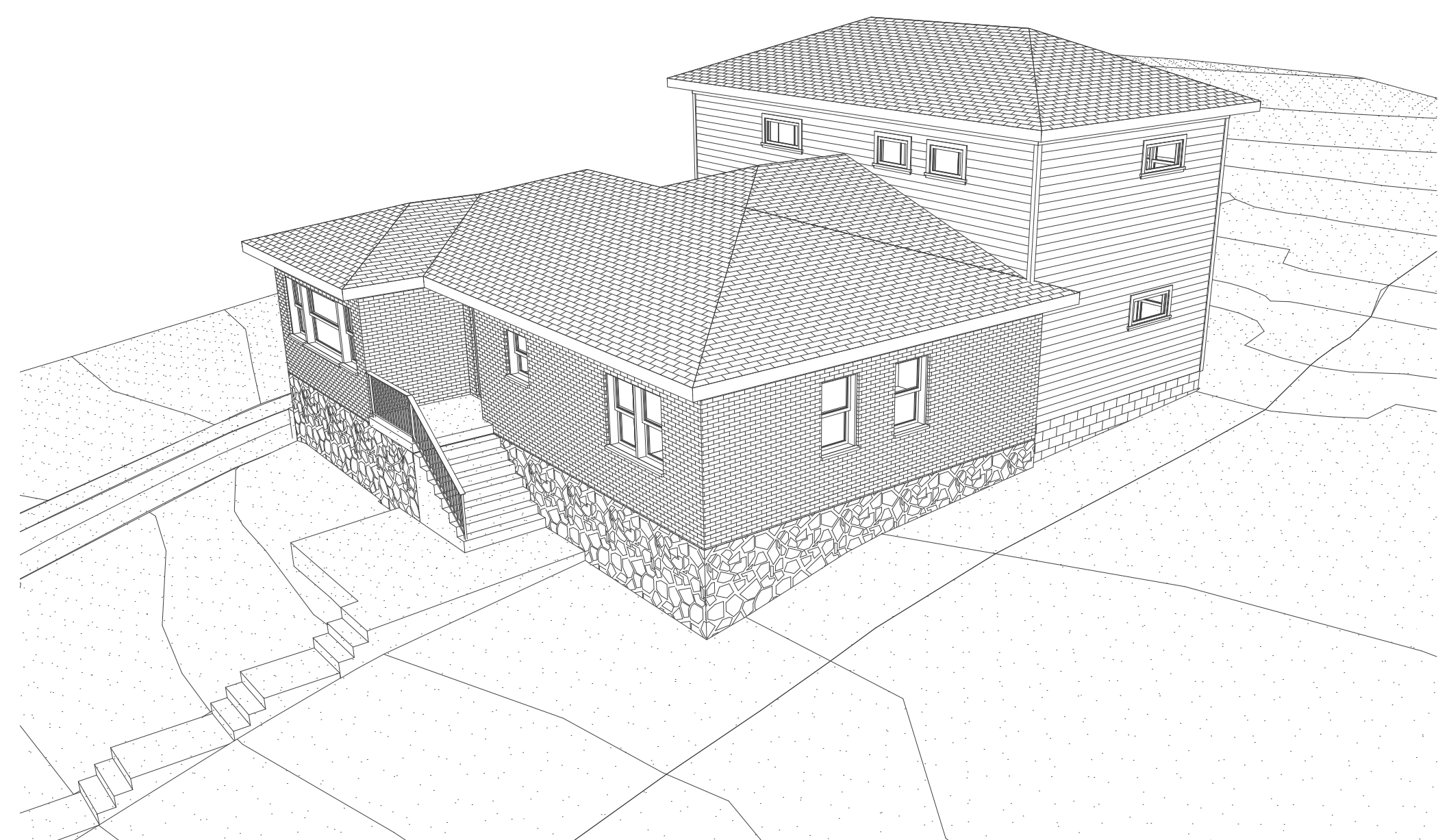
FRIEDENTHAL-GREENE RESIDENCE
906 NORTH PARKWOOD ROAD
DECATUR, GA 30030
NATHANIEL & SARAH FRIEDENTHAL-GREENE

Drawing Description:
Floor Plans

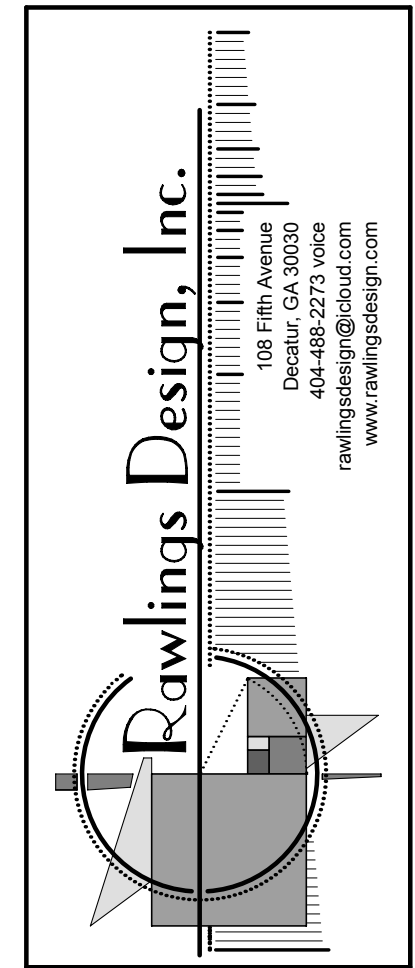
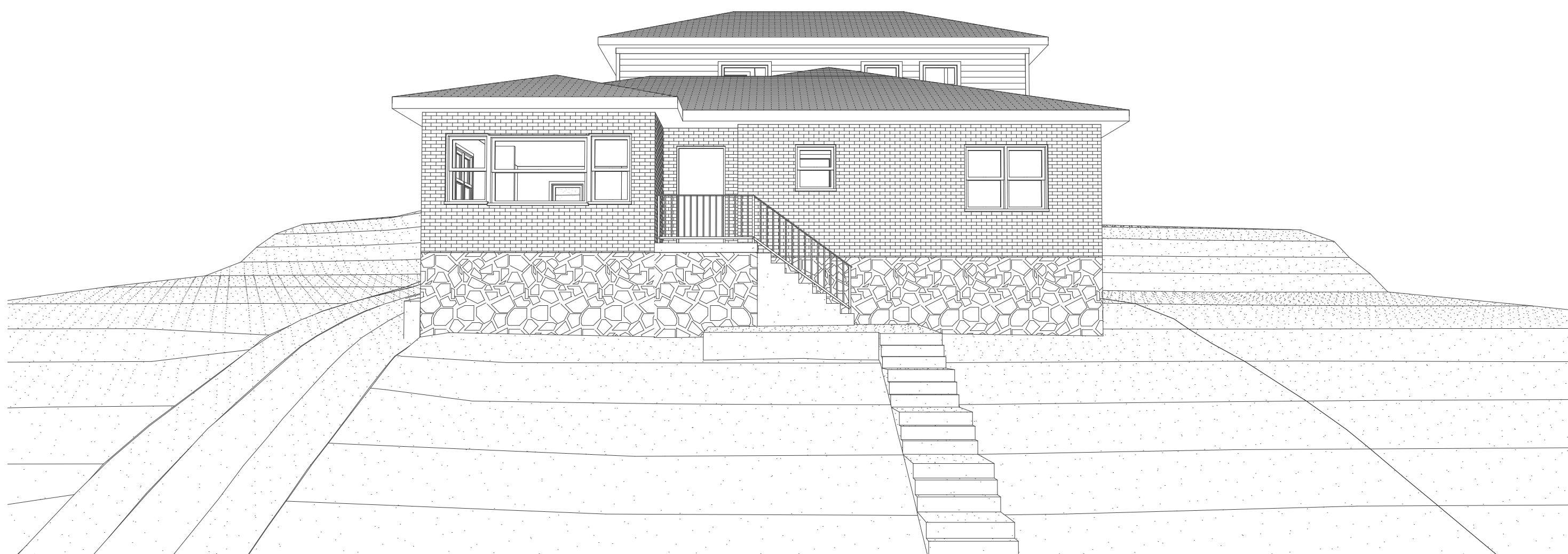
A-2.3



2 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



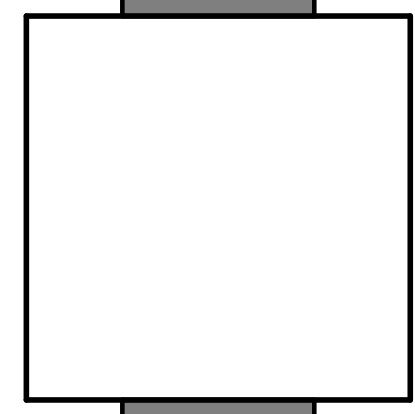
1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



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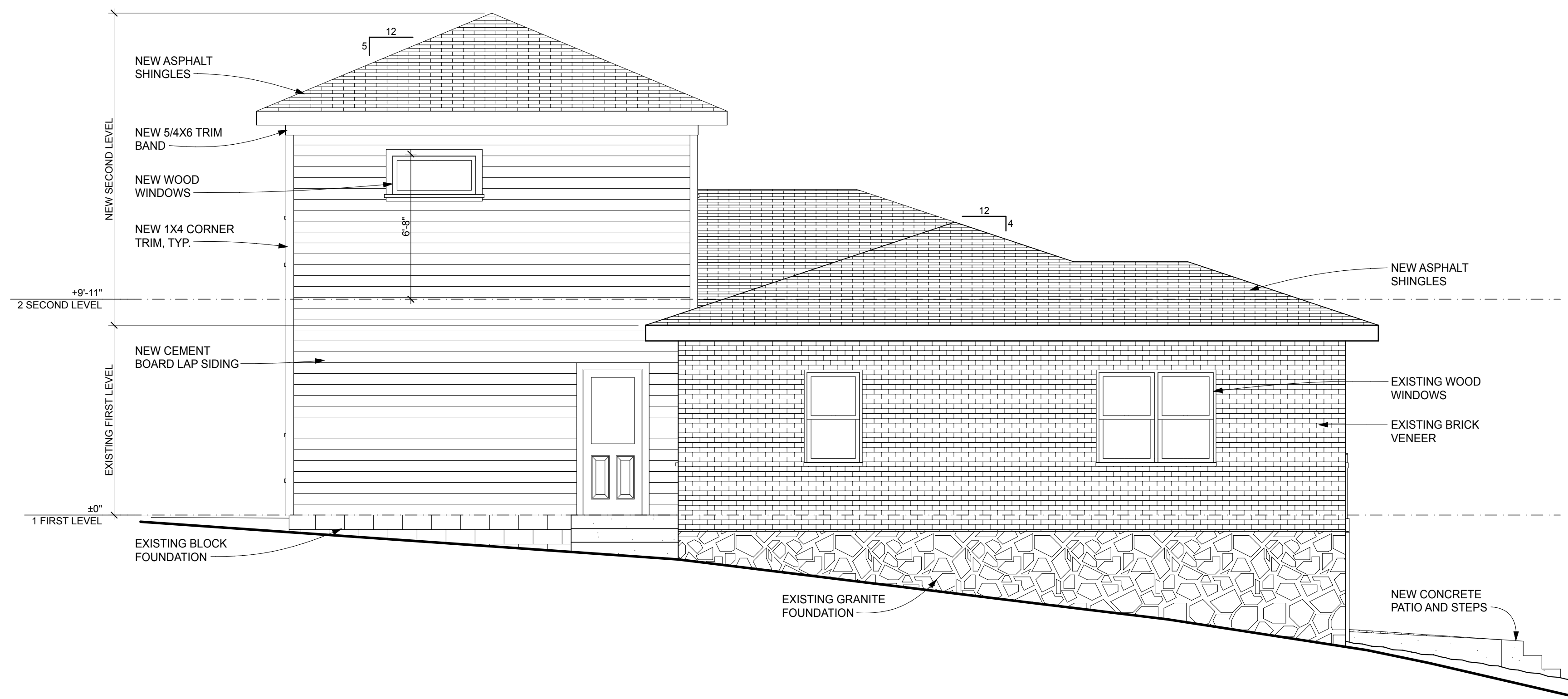
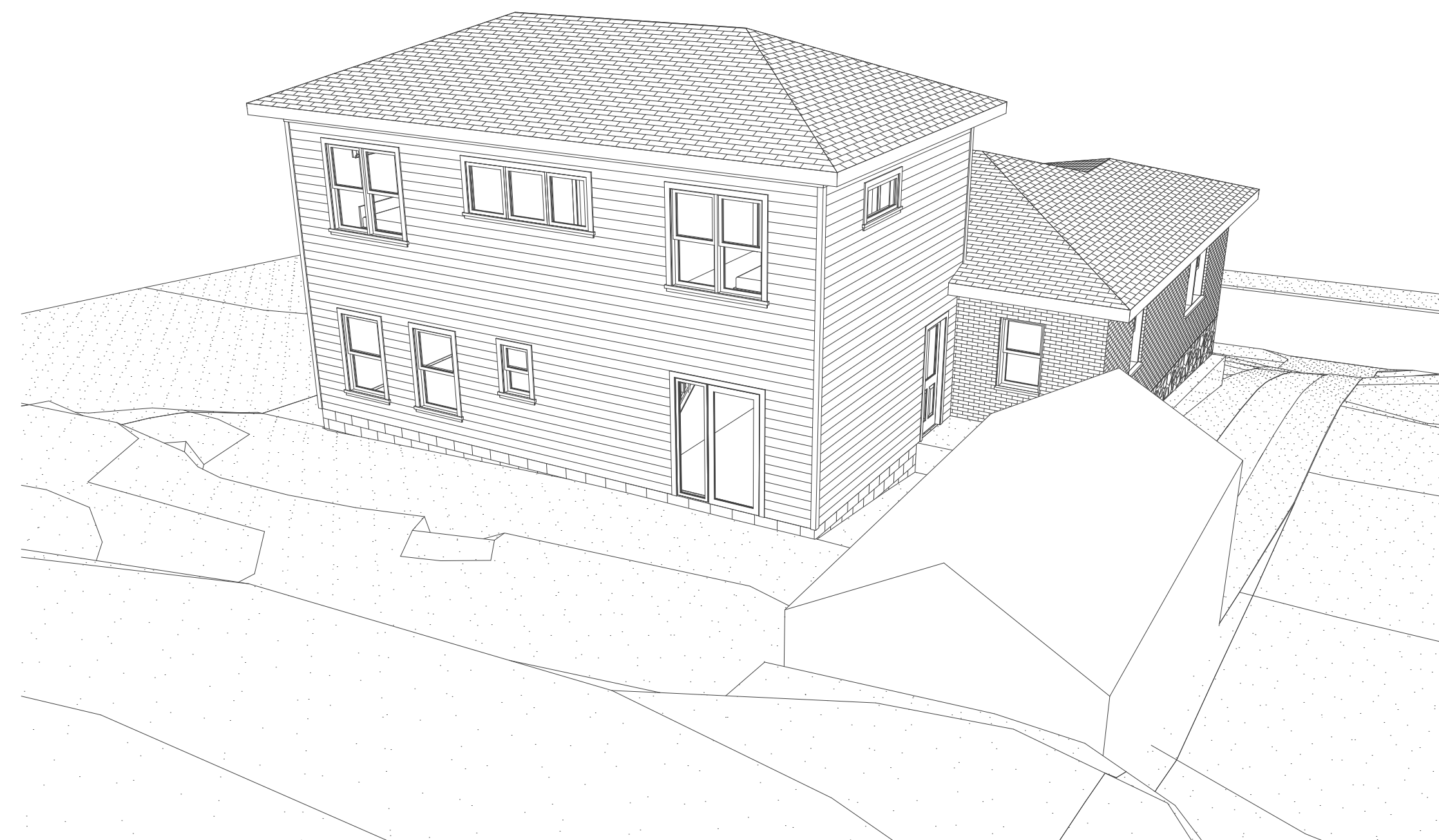
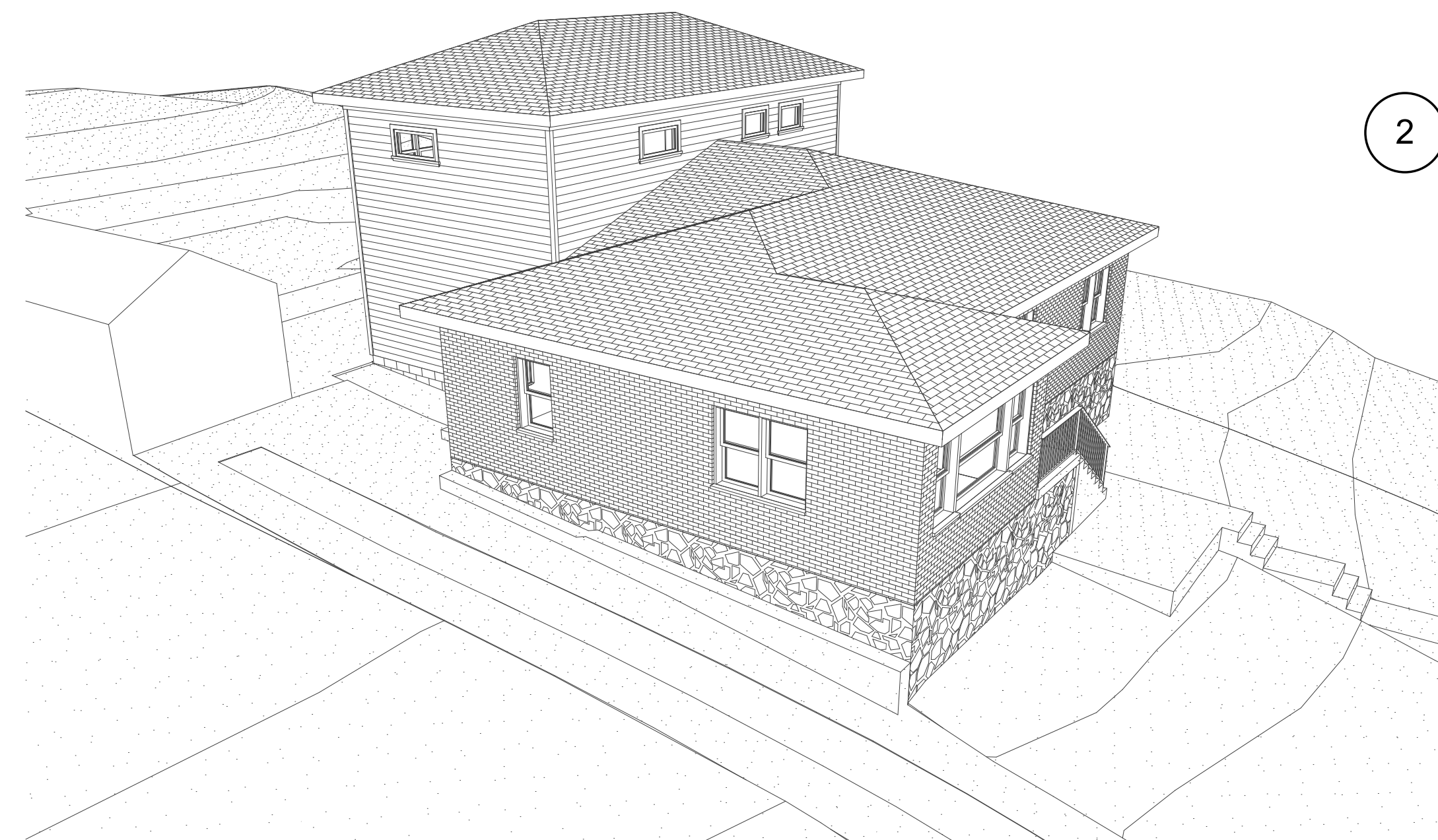
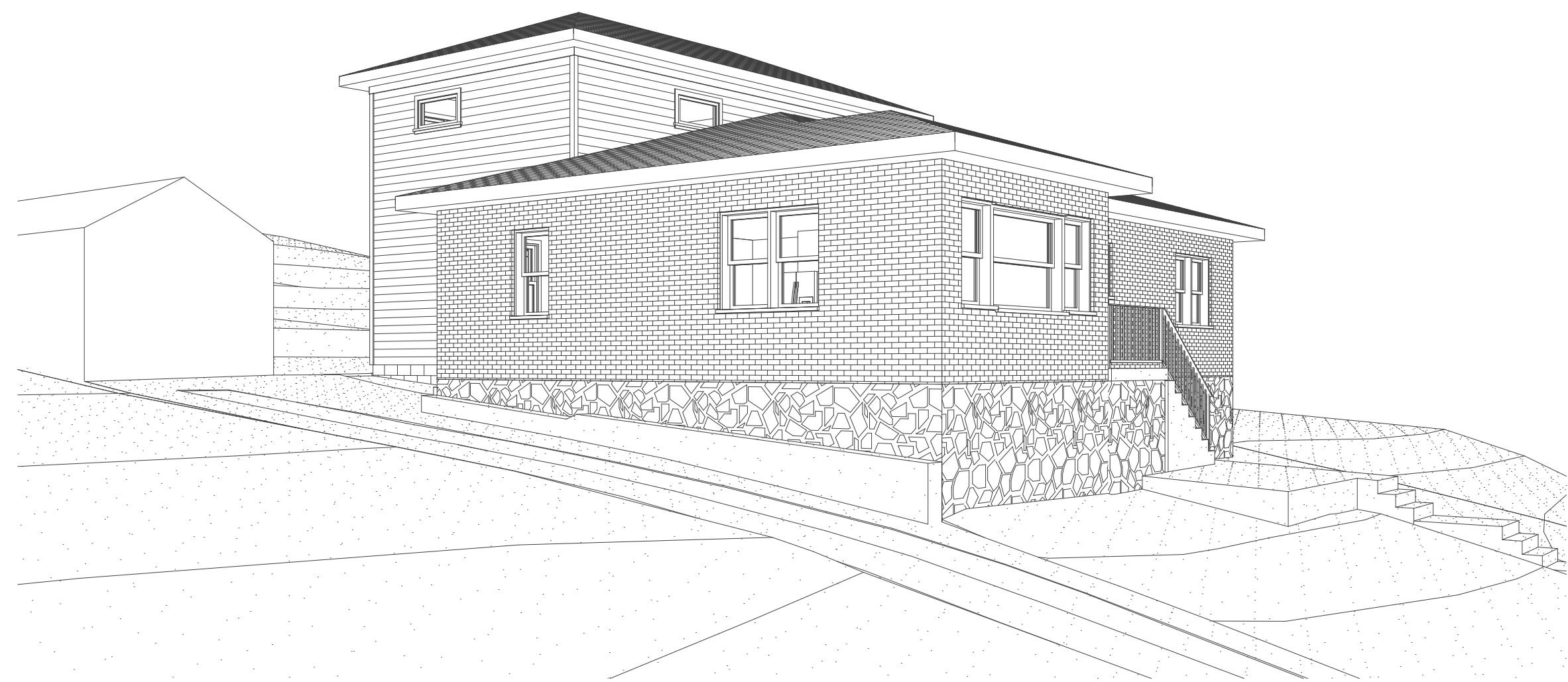
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FRIEDENTHAL-GREENE RESIDENCE
 906 NORTH PARKWOOD ROAD
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NATHANIEL & SARAH FRIEDENTHAL-GREENE

Drawing Description: Exterior Elevations

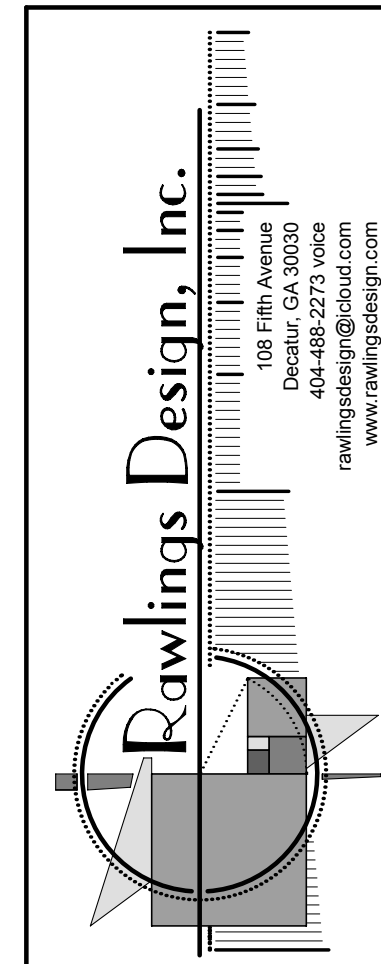
A-3.1



2 LEFT ELEVATION
SCALE: 1/4" = 1'-0"



1 REAR ELEVATION
SCALE: 1/4" = 1'-0"



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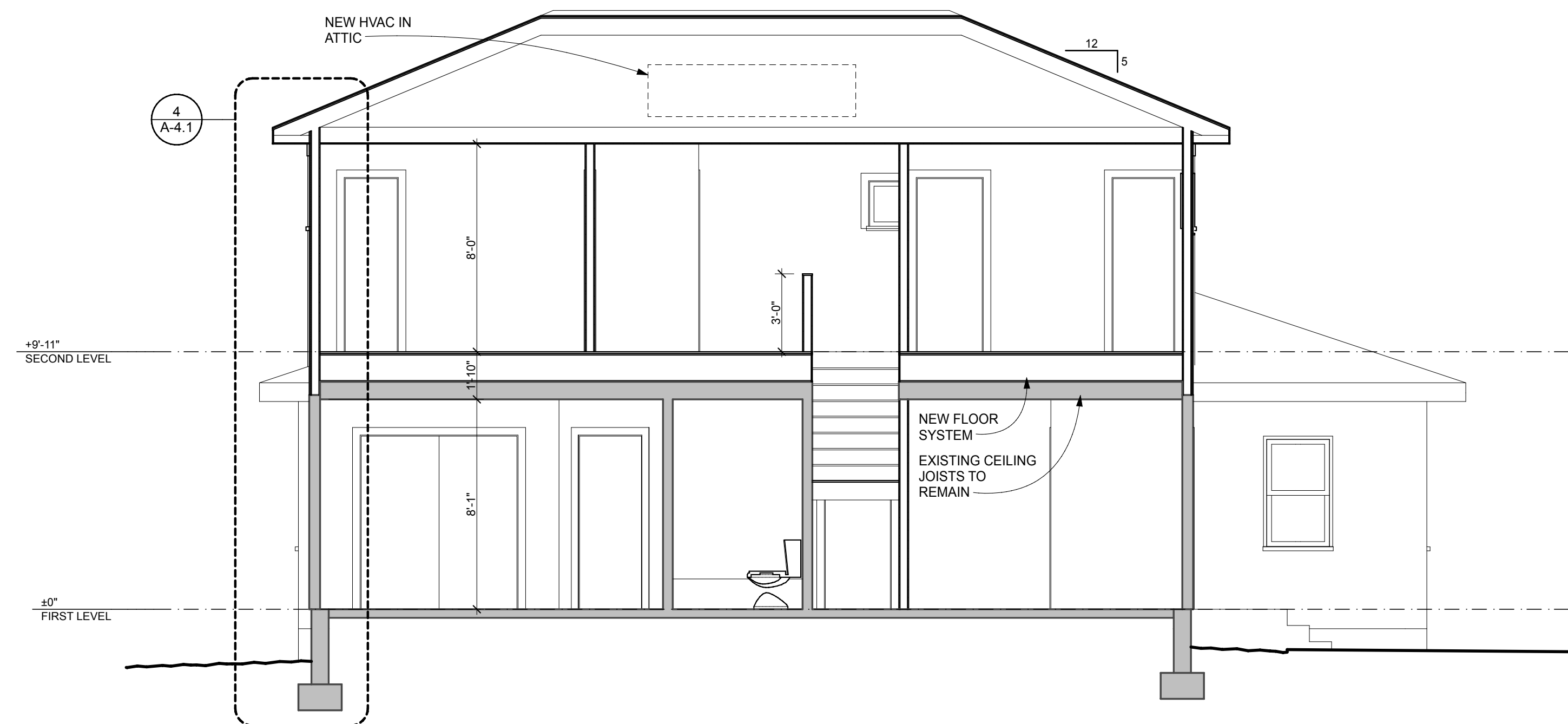
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NATHANIEL & SARAH FRIEDENTHAL-GREENE

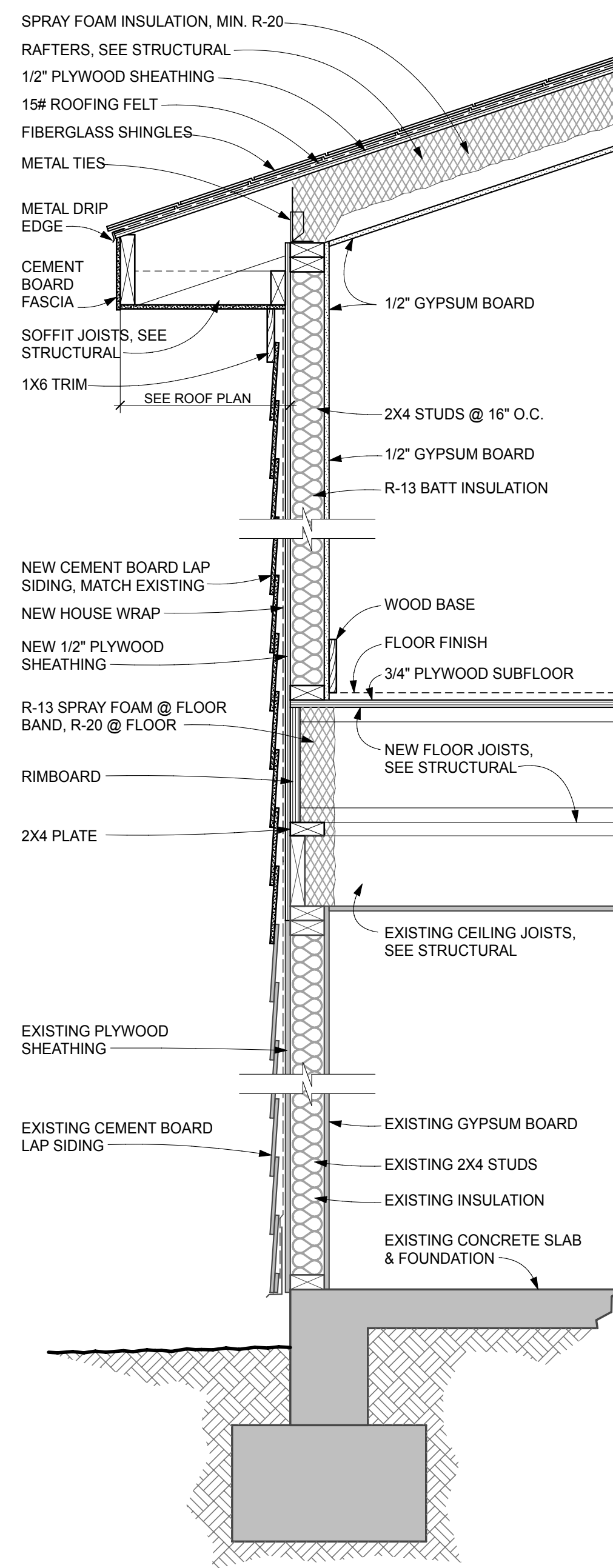
Drawing Description: Exterior Elevations

A-3.2



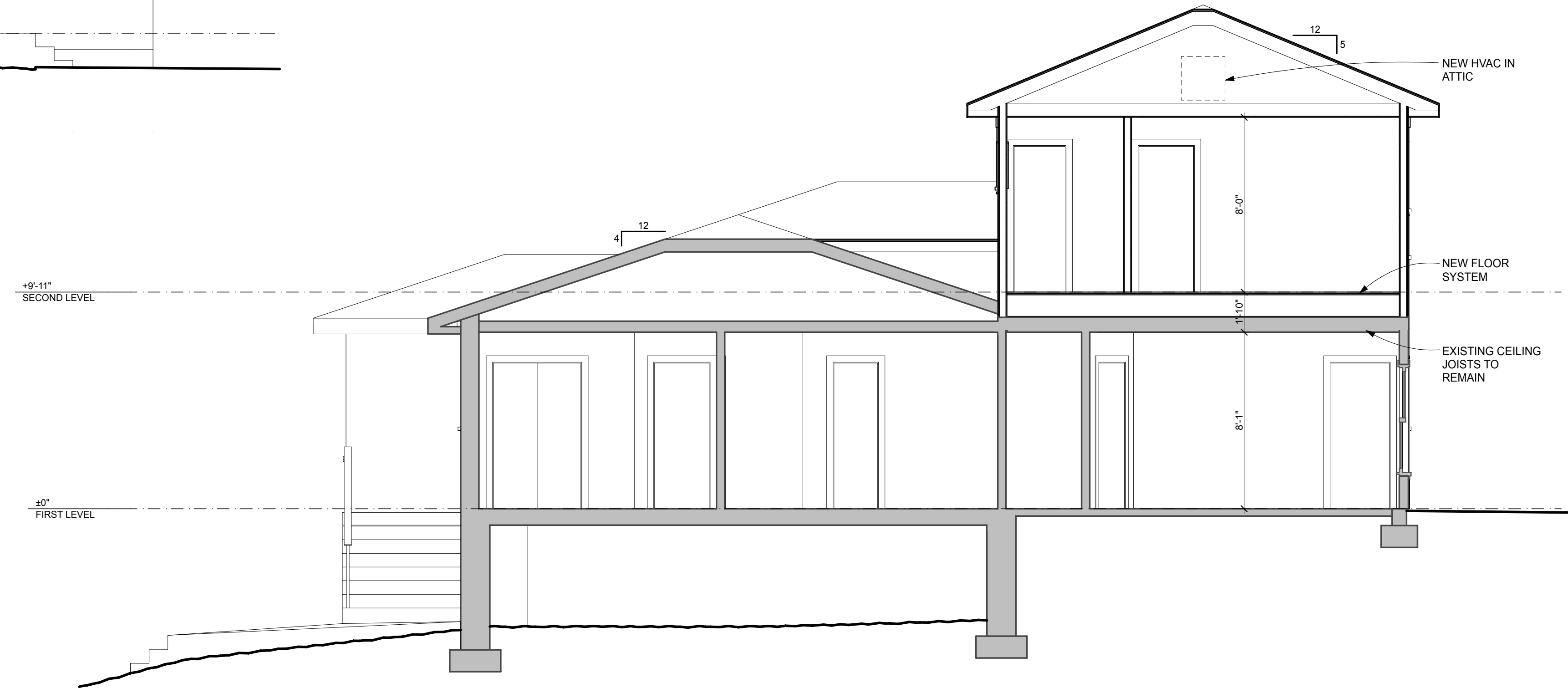
3 BUILDING SECTION

SCALE: 1/4" = 1'-0"



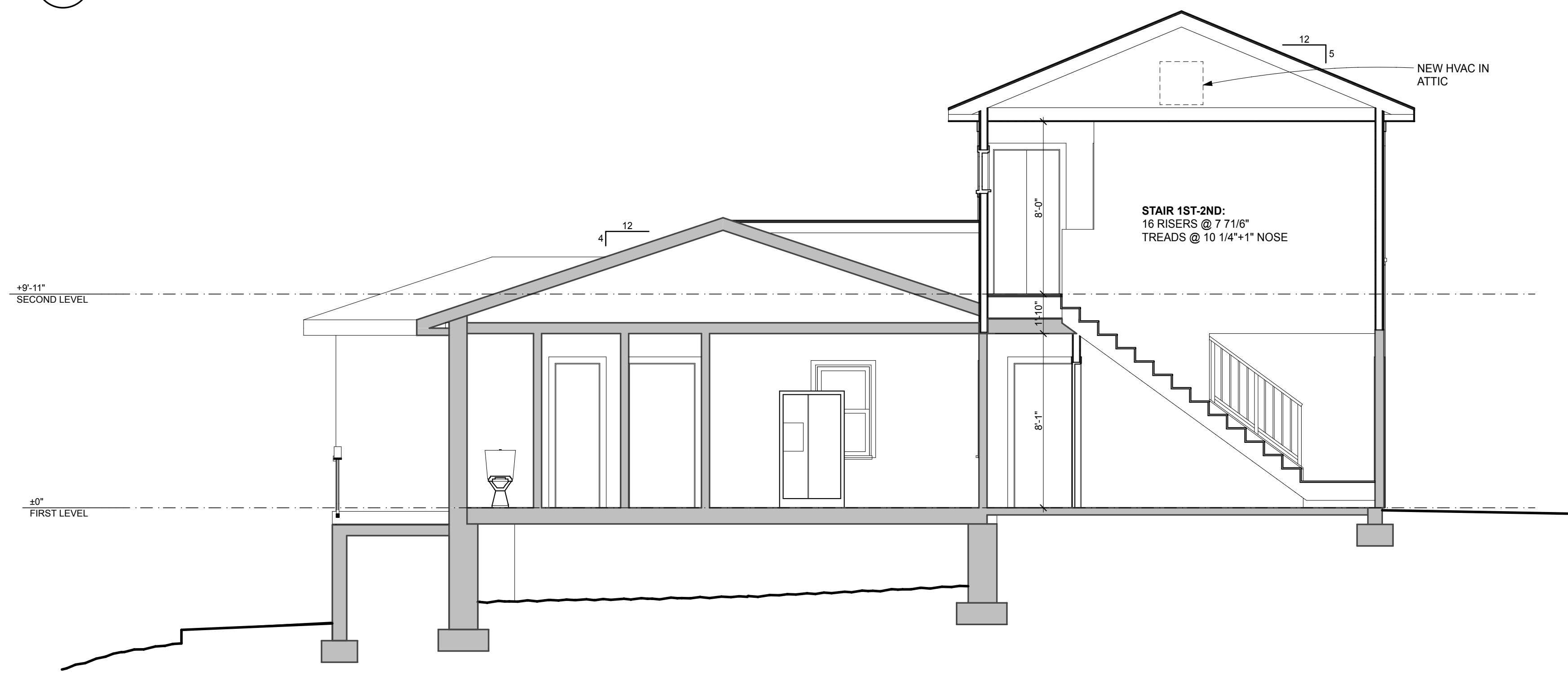
4 WALL SECTION

SCALE: 1" = 1'-0"



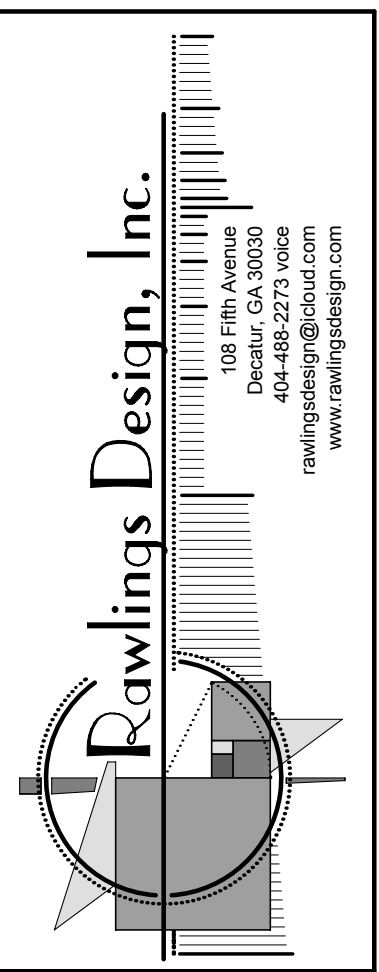
2 BUILDING SECTION

SCALE: 1/4" = 1'-0"



1 BUILDING SECTION

SCALE: 1/4" = 1'-0"



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906 NORTH PARKWOOD ROAD
DECATUR, GA 30030
NATHANIEL & SARAH FRIEDENTHAL-GREENE

Drawing Description:
Building Sections

A-4.1

DESIGN CRITERIA NOTES

- 1. GOVERNING BUILDING CODE: 2018 INTERNATIONAL RESIDENTIAL CODE w GA AMENDMENTS. ANY STANDARD REFERENCED IN THESE PLANS IS TO BE THE EDITION SPECIFIED IN THE REFERENCED STANDARDS CHAPTER OF THE GOVERNING BUILDING CODE.
2. WIND LOADS: 2.1 BASIC WIND SPEED -- 3 SECOND GUST, 2.2 IMPORTANCE FACTOR, 2.3 WIND EXPOSURE CATEGORY, 2.4 DESIGN WIND PRESSURE FOR COMPONENTS & CLADDING *
3. SNOW GROUND LOAD, P_s

* DESIGN WIND PRESSURES FOR COMPONENTS & CLADDING REPRESENT WORST CASE OUTER ZONES. DESIGN PRESSURES USED BY MANUFACTURERS MAY BE REDUCED PROVIDED THE COMPONENT OR CLADDING IS LOCATED WITHIN AN INNER ZONE DESIGNED TO RESIST THE CORRESPONDING INNER ZONE PRESSURE w APPLICABLE ADJUSTMENT FACTORS LISTED IN THE GOVERNING BUILDING CODE OR ASCE-7.

GENERAL STRUCTURAL NOTES

- 1. THE ARCHITECTURAL LAYOUT AND BUILDING PLACEMENT ON THE LOT IS NOT THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER.
2. THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE DRAWINGS AND SPECIFICATIONS OF ALL OTHER DISCIPLINES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL SAFETY PRECAUTIONS AND REGULATIONS DURING THE WORK.
4. THE STRUCTURAL DRAWINGS REPRESENT THE FINISHED STRUCTURE.
5. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE METHODS, TECHNIQUES, AND SEQUENCES OF THE PROCEDURES TO PERFORM THE WORK.
6. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION.
7. ALL STRUCTURAL SYSTEMS WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING.
8. LOADING APPLIED TO THE STRUCTURE DURING THE PROCESS OF CONSTRUCTION SHALL NOT EXCEED THE DESIGN LOADS INDICATED ON THE PLANS.
9. IN ACCORDANCE WITH THE APPLICABLE CODE, SPECIAL INSPECTIONS MAY BE REQUIRED.
10. SHOP DRAWINGS AND OTHER ITEMS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION.
11. ALL DELEGATED DESIGN OR DESIGN BY OTHERS IS TO BE DESIGNED AND SPECIFIED BY A REGISTERED ENGINEER OR ARCHITECT.
12. THE ENGINEER IS NOT RESPONSIBLE FOR DESIGN TO PREVENT WATER INTRUSION.
13. THE DESIGN HEREIN BELONG TO THE ENGINEER.
14. IT IS THE RESPONSIBILITY OF PURCHASER OF PLANS TO ENSURE THE FOLLOWING BEFORE CONSTRUCTION:
14.1. CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.
14.2. CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL LOCAL BUILDING CODES IN THE AREA THE PROJECT IS TO BE BUILT.
14.3. ENGINEERING CONSULTANTS MUST INCORPORATE ACTUAL SITE CONDITIONS.
14.4. ANY MODIFICATIONS TO THESE DOCUMENTS MUST BE MADE BY THE ENGINEER.
14.5. PLANS INDICATE LOCATION ONLY. SITE CONDITIONS MUST BE VERIFIED BY OTHERS AND ACTUAL SITE CONDITION MUST BE INCORPORATED INTO ENGINEERING ASPECTS.

FOUNDATION NOTES

- 1. ALL FOOTINGS SHALL BEAR ON UNDISTURBED, FIRM, NATURAL SOIL OR ENGINEERED SOIL CAPABLE OF SUPPORTING A MINIMUM DESIGN BEARING PRESSURE OF 2,000 PSF.
2. ALL FOUNDATION EXCAVATIONS SHALL BE EVALUATED BY A GEOTECHNICAL ENGINEER / TESTING AGENCY PRIOR TO POURING FOUNDATION CONCRETE.
3. CONTRACTOR TO PROVIDE TEMPORARY SHORING TO BRACE FOUNDATION WALLS PRIOR TO BACK FILLING OR FLOOR SYSTEM SHALL BE INSTALLED PRIOR TO BACK FILLING TO BRACE TOP OF WALL, UNLESS NOTED OTHERWISE (U.N.O.).
4. PRIOR TO COMMENCING ANY FOUNDATION WORK, COORDINATE WORK WITH ANY EXISTING UTILITIES. FOUNDATIONS SHALL BE LOWERED WHERE REQUIRED TO AVOID UTILITIES AND COORDINATED w THE ENGINEER.
5. PROVIDE PROPER AND ADEQUATE DRAINAGE BEHIND ANY TYPE OF RETAINING AND/OR BASMENT WALLS AS THE SITE CONDITIONS REQUIRE IN THE FIELD.
6. ALL BOTTOM OF ALL FOOTINGS AND FOUNDATIONS SHALL BE PLACED BELOW THE FROST DEPTH OF THE GEOGRAPHIC AREA OF THE PROJECT.
7. IN THE PRESENCE OF THE GROUND WATER TABLE ABOVE ANY FOOTING OR FOUNDATION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER FOR POTENTIAL DESIGN REVISIONS.
8. ALL STEEL EXPOSED TO WATER, MOISTURE, AND/OR CORROSIVES SHALL BE COVERED WITH APPROPRIATE PROTECTIVE APPROVED COATING MATERIALS.
9. THE FOLLOWING PROPERTIES ARE USED IN THE DESIGN OF WALLS, SLABS, AND ANY OTHER MEMBERS RETAINING SOIL AND MUST BE VERIFIED BY A GEOTECHNICAL ENGINEER:
9.1 SOIL SPECIFIC WEIGHT (SOIL DENSITY COMPACTED TO 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY BASED ON ASTM D698 METHOD), γ = 110 PCF
9.2 INTERNAL FRICTION ANGLE, φ = 30°
9.3 ACTIVE SOIL PRESSURE (or EPP), P_a = 36.7 PSF
9.4 PASSIVE SOIL PRESSURE, P_p = 330 PSF

CAST-IN-PLACE CONCRETE NOTES

- 1. CONCRETE MIXES AND CONCRETE WORK SHALL CONFORM TO ACI 301 USING PORTLAND CEMENT, AGGREGATES AND ADMIXTURES CONFORMING TO ASTM REQUIREMENTS.
2. CONCRETE SHALL CONFORM TO THE FOLLOWING COMPRESSIVE STRENGTH AND WATER/CEMENT RATIO REQUIREMENTS:
3. ALL REINFORCING STEEL SHALL CONFORM TO ASTM REQUIREMENTS GRADE 60.
4. ALL WELDED WIRE FABRIC (WWF) SHALL CONFORM TO ASTM REQUIREMENTS.
5. ALL REINFORCING STEEL SHALL BE SET AND TIED IN PLACE PRIOR TO POURING OF CONCRETE.
6. REINFORCING STEEL, INCLUDING HOOKS AND BENDS, SHALL BE DETAILED IN ACCORDANCE WITH ACI 315.
7. MINIMUM CONCRETE COVER SHALL BE PROVIDED IN ACCORDANCE WITH ACI 318.
8. BAR SUPPORTS SHALL BE PROVIDED FOR ALL REINFORCING STEEL TO INSURE MINIMUM SUPPORT AND HOLDING BARS PER CONCRETE COVER.
9. ALL EDGES OF PERMANENTLY EXPOSED CONCRETE SURFACES SHALL BE CHAMFERED.
10. FORM WORK SHALL REMAIN IN PLACE UNTIL CONCRETE HAS OBTAINED AT LEAST 90% OF ITS 28 DAY COMPRESSIVE STRENGTH.
11. PROVIDE JOINTS IN ALL CONCRETE WORK AS REQUIRED BY THE ACI CODE, U.N.O.
12. THE MAXIMUM LENGTH OF SLAB CAST IN ANY ONE CONTINUOUS POUR SHALL BE LIMITED TO 80 FEET, U.N.O.

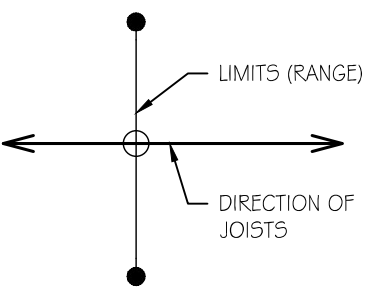
WOOD FRAMING NOTES

- 1. ALL 2x4, 2x6, 2x8 WOOD FRAMING SHALL BE SPP #2.
2. ALL 2x10, 2x12 FRAMING SHALL BE SPP #2, U.N.O.
3. ALL INTERIOR FRAMING SHALL BE SURFACE DRIED OR KILN DRIED AND INSTALLED AT 19% MAXIMUM MOISTURE CONTENT.
4. ALL FRAMING EXPOSED TO THE WEATHER OR IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE-TREATED IN ACCORDANCE WITH THE AMERICAN WOOD PRESERVERS ASSOCIATION SPECIFICATIONS.
5. ALL PRE-FABRICATED STRUCTURAL COMPOSITE BEAMS SHALL BE MANUFACTURED BY BOISE CASCADE OR AN APPROVED EQUAL.
6. ALL NAILING SHALL BE IN ACCORDANCE WITH THE FASTENER SCHEDULE ON THIS SHEET.
7. BOLTS AND THREADED RODS USED TO SECURE WOOD MEMBERS SHALL BE ASTM A307 GRADE, U.N.O.
8. BOLT AND THREADED ROD HOLES SHALL BE CAREFULLY CENTERED AND DRILLED NOT MORE THAN 1/16" LARGER THAN THE BOLT DIAMETER.
9. LAG SCREWS AND WOOD SCREWS ARE TO HAVE LEAD HOLES PRE-DRILLED IN ACCORDANCE w THE NDS FOR WOOD CONSTRUCTION.
10. ALL BOLTS, THREADED RODS, AND LAG SCREWS WITH A NUT OR HEAD IN CONTACT WITH WOOD REQUIRE A FLAT WASHER.
11. ALL BOLTS, THREADED RODS, AND LAG SCREWS GREATER THAN 1/2" DIAMETER ARE TO HAVE AN O.C. SPACING, WOOD EDGE DISTANCE, AND WOOD END DISTANCE NOT LESS THAN 4x FASTENER DIAMETER, U.N.O.
12. PREFABRICATED METAL JOIST HANGERS, HURRICANE CLIPS, HOLD-DOWN ANCHORS, POST BASES/CAPS, AND OTHER ACCESSORIES SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY.
13. ALL HARDWARE AND FASTENERS USED FOR PRESSURE TREATED WOOD SHALL BE MADE FROM APPROVED CORROSIVE-RESISTANT MATERIALS.
14. THE ENDS OF ALL BEAMS & JOISTS ARE TO BE RESTRAINED TO PREVENT ROTATION.
15. LAP FLOOR & CEILING JOISTS BY THE THICKNESS OF BEARING WALL (MIN. 3") & DO NOT EXTEND BEYOND THE WALL, U.N.O.
16. IN FLOOR CAVITIES PROVIDE BLOCKING UNDER ALL CONCENTRATED LOADS.
17. ALL STUDS TO BE CONTINUOUS BETWEEN DIAPHRAGMS.
18. ALL COLUMNS TO BE BRACED AT TOP & BOTTOM.

PREFABRICATED WOOD JOIST NOTES

- 1. PREFABRICATED WOOD I-JOISTS SHALL BE DESIGNED AND FURNISHED IN ACCORDANCE WITH A CURRENT CODE-ACCEPTED EVALUATION REPORT.
2. WOOD I-JOIST SHALL NOT BE CUT, NOTCHED, COPE, DRILLED, NOR OTHERWISE ALTERED IN ANY WAY UNLESS SPECIFICALLY CONDUCTED IN ACCORDANCE WITH THE MANUFACTURERS WRITTEN REQUIREMENTS.
3. WOOD I-JOISTS SHALL BE PRODUCED BY A CODE ACCEPTED FABRICATOR WITH A MINIMUM OF FIVE (5) YEARS EXPERIENCE PRODUCING PREFABRICATED WOOD I-JOISTS.
4. WOOD I-JOISTS SHALL BE STORED IN BUNDLES IN AN UPRIGHT POSITION AND AWAY FROM GROUND CONTACT.
5. WOOD I-JOISTS SHALL BE CAREFULLY HANDLED TO PREVENT DAMAGE AND DISTORTION.

JOIST DIRECTION LEGEND



STRUCTURAL STEEL NOTES

- 1. ALL STRUCTURAL STEEL SHALL CONFORM TO THE "STEEL CONSTRUCTION MANUAL" OF THE AISC.
2. UNLESS NOTED OTHERWISE, ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
MEMBER WEIGHTS, M. S. C, M.C. L-SHAPES, HSS RECT., HSS ROUND, PIPE, PLATES, CONNECTION BOLTS, ANCHOR BOLTS, THREADED RODS, NON-SHRINK GROUT
3. ALL WELDING SHALL BE IN ACCORDANCE WITH AWS D1.1 USING E70XX ELECTRODES, U.N.O.
4. ALL STRUCTURAL STEEL IN SSPC ENVIRONMENTAL ZONES O AND 1A SHALL BE SHOP PAINTED WITH ONE COAT OF SSPC 15-68, TYPE 1 (RED OXIDE) PAINT, U.N.O.
5. ALL STEEL EXPOSED TO WATER, MOISTURE, AND /OR CORROSIVES SHALL BE COVERED WITH APPROPRIATE PROTECTIVE APPROVED COATING MATERIALS.
6. PROTECTIVE COATINGS DAMAGED DURING THE TRANSPORTING, ERECTING, AND FIELD WELDING PROCESSES SHALL BE REPAIRED IN THE FIELD TO MATCH THE SHOP APPLIED COATING.
7. ALL BEAM COPES SHALL BE MADE w MINIMAL COPE DIMENSIONS < 1/2 CLEAR DIMENSION FOR NON-CONNECTED SURFACES IS PERMISSIBLE.
8. ALL BOLTS SHALL BE SHEARBEARING TYPE BOLTS AND BE "SNUG-TIGHT", U.N.O.
9. FOR ALL BOLTS > DIAMETER AND LESS, HOLES SHALL BE STANDARD HOLES > LARGER THAN BOLT DIAMETER.
10. WASHERS, WHERE REQUIRED, SHALL BE ASTM F436, U.N.O.
11. WHERE STEEL BEAMS ARE FLUSH AND SUPPORT JOISTS ON HANGERS, PACK OUT THE WEB w 5/8" OR LVL NAILER PLATES CUT TO FIT TIGHT BETWEEN FLANGES AND SECURE w 3/4" DIAMETER A307 THRU BOLTS @ 16" O.C. STAGGERED.

MASONRY NOTES

- 1. MASONRY CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF ACI 530.
2. HOLLOW LOAD-BEARING MASONRY UNITS SHALL CONFORM TO ASTM REQUIREMENTS.
3. FILL ALL BOND BEAMS AND REINFORCED CELLS SOLIDLY WITH GROUT.
4. THE USE OF MASONRY-CEMENT MORTAR IS STRICTLY PROHIBITED.
5. UNLESS NOTED OTHERWISE, ALL WALLS SHALL BE LAID IN RUNNING BOND.
6. REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ASTM REQUIREMENTS, GRADE 60.
7. VERTICAL REINFORCEMENT TO BE MINIMUM (1) #4 BAR AT CORNERS, ON EACH SIDE OF OPENINGS, AT THE ENDS OF WALLS, AND AT INTERSECTIONS w A MAXIMUM SPACING OF 4'-0" O.C. BETWEEN.
8. PROVIDE REBAR DOWELS FROM FOUNDATIONS TO MATCH VERTICAL REINFORCING SIZE AND SPACING.
9. MINIMUM GROUT & MASONRY COVER SHALL BE PROVIDED IN ACCORDANCE WITH ACI 530.
10. PROVIDE BOND BEAM UNITS ABOVE ALL WALL OPENINGS PER THE SPECIFICATIONS ON THE PLANS w NO LESS THAN 4" OF BEARING, U.N.O.
11. PROVIDE STEEL JOIST AND BEAM BEARING PLATES AND OTHER ACCESSORIES AS INDICATED ON THE PLANS.
12. PROVIDE JOINTS IN ALL MASONRY WORK AS REQUIRED BY THE ACI CODE OR NOMA TEK DOCUMENTS, U.N.O.

ANCHORED VENEER NOTES

- 1. THE DESIGN OF VENEER IS NOT INCLUDED IN THE SCOPE OF THESE PLANS.
2. VENEER WITH A 1" NOMINAL AIR SPACE SHALL BE ANCHORED TO THE SUPPORTING WALL STUDS w CORROSION-RESISTANT 22 U.S. GAGE METAL TIES w 8x8 COMMON NAILS AT 16" O.C. HORZ. & 24" O.C VERT.
3. UNTELS SPANNING OVER OPENINGS SHALL BE IN ACCORDANCE w THE TABLES BELOW, U.N.O.

ALLOWABLE CLEAR SPANS FOR UNTELS SUPPORTING 4" NOMINAL CLAY BRICK VENEER WEIGHING ≤ 38 PSF

Table with columns for Size of Steel Angle and Height of Veneer Above Untel, showing allowable spans for various angle sizes.

* LONG LEG OF THE ANGLE SHALL BE PLACED IN A VERTICAL POSITION
† INSTALL FIRST UNTEL, ADD COURSES UNTIL VENEER CLEARS TOP OF FIRST UNTEL, THEN ADD SECOND UNTEL (UNTELS ARE STACKED ATOP EACH OTHER AND NOT CONNECTED TO EACH OTHER)

ALLOWABLE CLEAR SPANS FOR UNTELS SUPPORTING 6" MAX STONE VENEER WEIGHING ≤ 82 PSF

Table with columns for Size of Steel Angle and Height of Veneer Above Untel, showing allowable spans for various angle sizes.

* LONG LEG OF THE ANGLE SHALL BE PLACED IN A VERTICAL POSITION

TABLE 1

Table 1: GENERAL FASTENER SCHEDULE. Includes columns for Description of Building Elements, Number & Type of Fastener, Spacing and Description. Covers Roof, Wall, and Floor sections.

TABLE 2

Table 2: BEAM AND HEADER PLY-TO-PLY ATTACHMENT SCHEDULE. Includes columns for Description of Beam or Header, Number & Type of Fastener, Spacing. Covers Beams and Headers not in exterior walls and Beams and Headers in exterior walls.

TABLE 3

Table 3: BEAM/JOIST HANGER AND COLUMN POST BASE/CAP SCHEDULE. Includes columns for Description of Building Element, Type of Connector. Covers Joists and Beams, Columns, and Caps.

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SUBMITTALS:

Table with columns for Date (02/9/2024) and Description (STRUCTURAL DESIGN ISSUED)

PROJECT NUMBER: 23484

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CHECKED BY: ADAM YOUNG

STAMP



STRUCTURAL DESIGN NOTES

- a. ALL PREFABRICATED METAL HANGERS AND POST BASES/CAPS SHALL BE MANUFACTURED BY "SIMPSON STRONG-TIE COMPANY", OR AN APPROVED EQUAL.
b. ANCHORS FOR POST BASES ARE TO HAVE A DIAMETER THAT MATCHES SIMPSON SPECIFICATIONS FOR THAT POST BASE.
c. ANCHORS FOR POST BASES ARE TO HAVE A DIAMETER THAT MATCHES SIMPSON SPECIFICATIONS FOR THAT POST BASE.

S-0

FOUNDATION LEGEND	
EXISTING FOUNDATION WALLS	
COLUMNS	<input checked="" type="checkbox"/>
STUD WALLS	

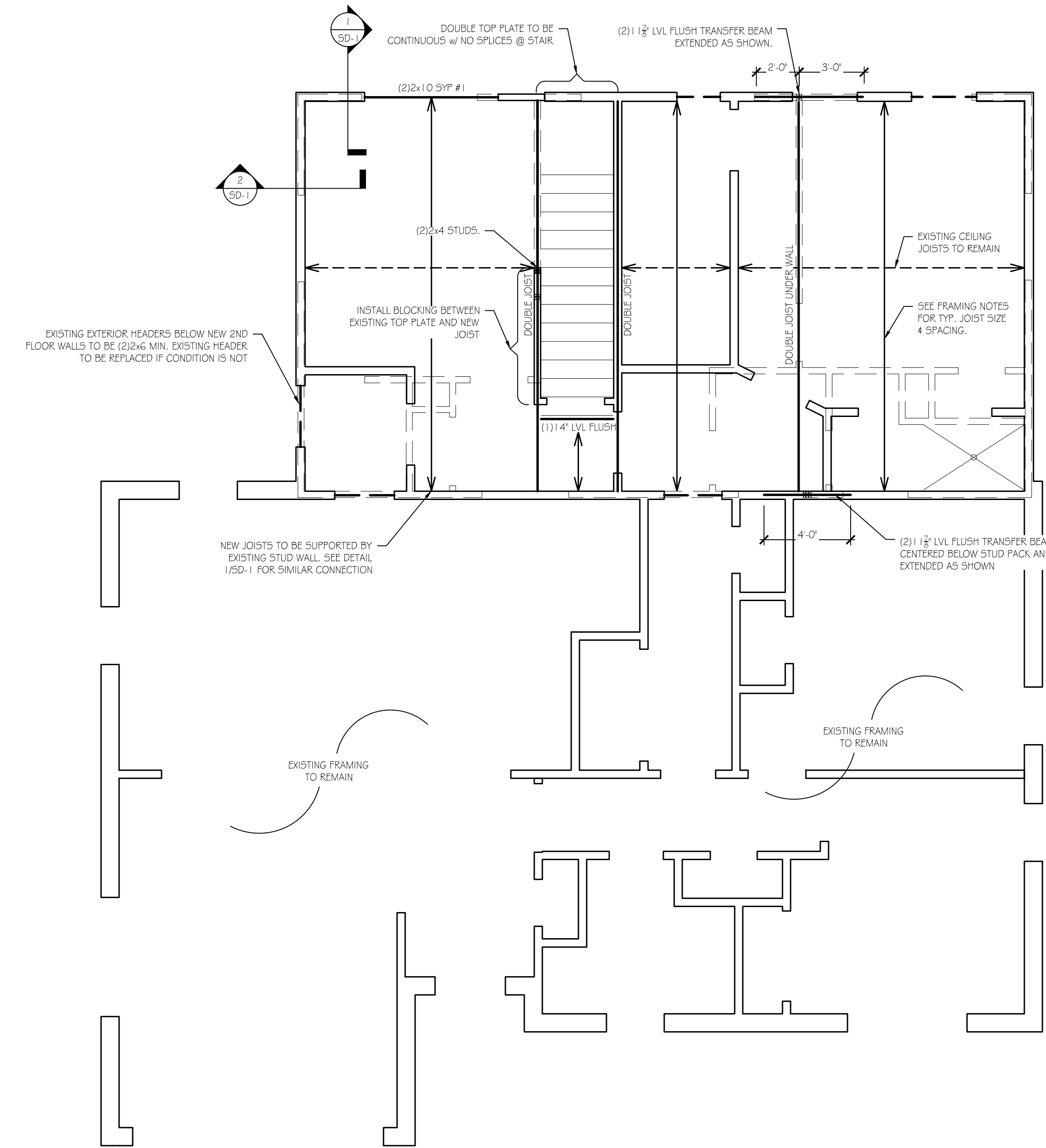
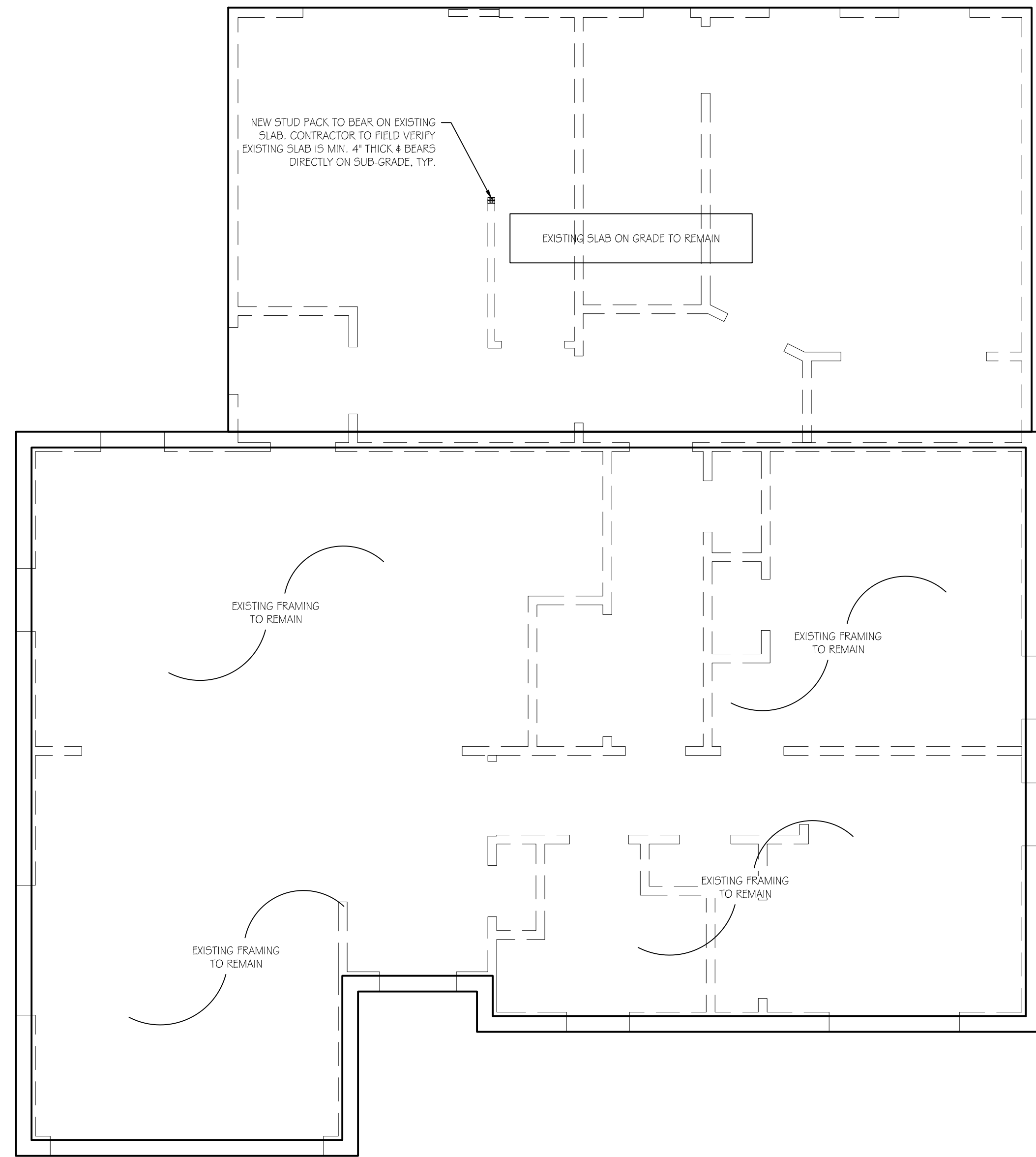
2ND LEVEL FRAMING LEGEND	
1ST LEVEL WALLS	
2ND LEVEL WALLS	
NEW HEADERS OR BEAMS	
EXISTING HEADERS OR BEAMS	
NEW JOISTS	
EXISTING JOISTS	
COLUMNS BELOW	<input checked="" type="checkbox"/>
COLUMNS ABOVE	<input checked="" type="checkbox"/>

2ND LEVEL FLOOR DESIGN LOADS	
40 PSF	LIVE LOAD
10 PSF	DEAD LOAD

2ND LEVEL CEILING DESIGN LOADS	
20 PSF	LIVE LOAD
10 PSF	DEAD LOAD

PACKED STUD SCHEDULE (APPLIES IF COL. IS NOT SPECIFIED ON PLAN)	
(2)x	(2)PLY BEAM
(3)x	(3)PLY BEAM
(4)x	(4)PLY BEAM

IF ANY EXISTING CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN, CONTACT E.O.R., TYP. ALL SHEETS



FOUNDATION NOTES:

- SOLE / SILL PLATES TO BE ANCHORED TO THE FOUNDATION WITH 1/2" ANCHOR BOLTS @ A MAXIMUM OF 6'-0" O.C. MINIMUM (2) BOLTS PER PLATE SECTION AND (1) BOLT WITHIN 12" FROM END OF PLATE SECTION. MINIMUM 7" EMBEDMENT INTO MASONRY OR CONCRETE.

1ST LEVEL WALL (BELOW 2ND FLOOR) FRAMING NOTES:

- NEW STUD WALLS TO BE 2x4 @ 16" O.C. w/ 8'-6" MAXIMUM STUD HEIGHT, U.N.O.
- WINDOW & DOOR HEADERS IN LOAD BEARING WALLS w/ SPANS ≤ 2'-8" SHALL HAVE (1)2x JACK STUD; SPANS > 2'-8" SHALL HAVE (2)x JACK STUDS, U.N.O.
- WINDOW & DOOR HEADERS IN INTERIOR WALLS SHALL HAVE (1)2x KING STUD; EXTERIOR WALLS w/ SPANS ≤ 6'-0" SHALL HAVE (1)2x KING STUD; EXTERIOR WALLS w/ SPANS > 6'-0" SHALL HAVE (2)x KING STUDS, U.N.O.
- INTERIOR LOAD BEARING WALLS SHALL HAVE BLOCKING BETWEEN STUDS. DISTANCE BETWEEN BLOCKING PANELS AND BOTTOM/TOP PLATES SHALL NOT EXCEED 5'-0" O.C.
- EXTERIOR WALLS TO BE FULLY SHEATHED w/ 5/8" APA RATED SHEATHING ATTACHED w/ 10d NAILS @ 6" O.C. AT PANEL EDGES & 12" O.C. AT INTERMEDIATE MEMBERS. PROVIDE BLOCKING BETWEEN STUDS AT PANEL EDGES. HORIZONTAL SHEATHING JOINTS SHALL NOT OCCUR AT THE FLOOR LINE, NOR SHALL VERTICAL OR HORIZONTAL JOINTS ALIGN WITH SIDES OF OPENINGS IN THE EXTERIOR WALLS. SHEATHING PANELS SHALL OVERLAP THE FLOOR LINE BY A MINIMUM OF 1 1/2 INCHES AND EXTEND A MINIMUM OF 1 1/2 INCHES BELOW THE BOTTOM OF THE FLOOR STRUCTURE.

2ND FLOOR FRAMING NOTES:

- ALL NEW FLOOR JOISTS TO BE 1 1/2" BCI 6000s @ 16" O.C., U.N.O.
- FLOOR DECKING TO BE 5/8" APA RATED STURDI-FLOOR 24 CG ADHERED PER JOIST MANUFACTURER TO ENSURE COMPOSITE ACTION & ATTACHED w/ 10d NAILS @ 6" O.C. AT PANEL EDGES & 12" O.C. AT INTERMEDIATE MEMBERS.
- WHERE JOISTS ARE PARALLEL TO EXTERIOR WALLS, PROVIDE FULL DEPTH BLOCKING @ 24" O.C. IN 1ST BAY TO BRACE WALL.

SEE SHEET S-0 FOR ADDITIONAL NOTES RELATED TO WOOD FRAMING. THESE NOTES INCLUDE WOOD SPECIES/GRADE, HANGER SPECIFICATIONS, AND BEAM PLY ATTACHMENT.

1
5-1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

2
5-1 2ND LEVEL FRAMING PLAN
SCALE: 1/4" = 1'-0"

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- GREENE
RESIDENCE

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SUBMITTALS:
02/19/2024 STRUCTURAL DESIGN ISSUED

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FOUNDATION
PLAN & 2ND
LEVEL FRAMING
PLAN

S-1

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CEILING LEVEL &
ROOF FRAMING
PLAN

S-2

RELEASED FOR CONSTRUCTION

CEILING FRAMING LEGEND	
2ND LEVEL WALLS	
1ST LEVEL WALLS (OUTSIDE FOOTPRINT OF 2ND LEVEL)	
HEADERS OR BEAMS	
JOISTS	
COLUMNS BELOW	

CEILING DESIGN LOADS	
20 PSF	LIVE LOAD
10 PSF	LIVE LOAD < 42' ATTIC HEIGHT
10 PSF	DEAD LOAD

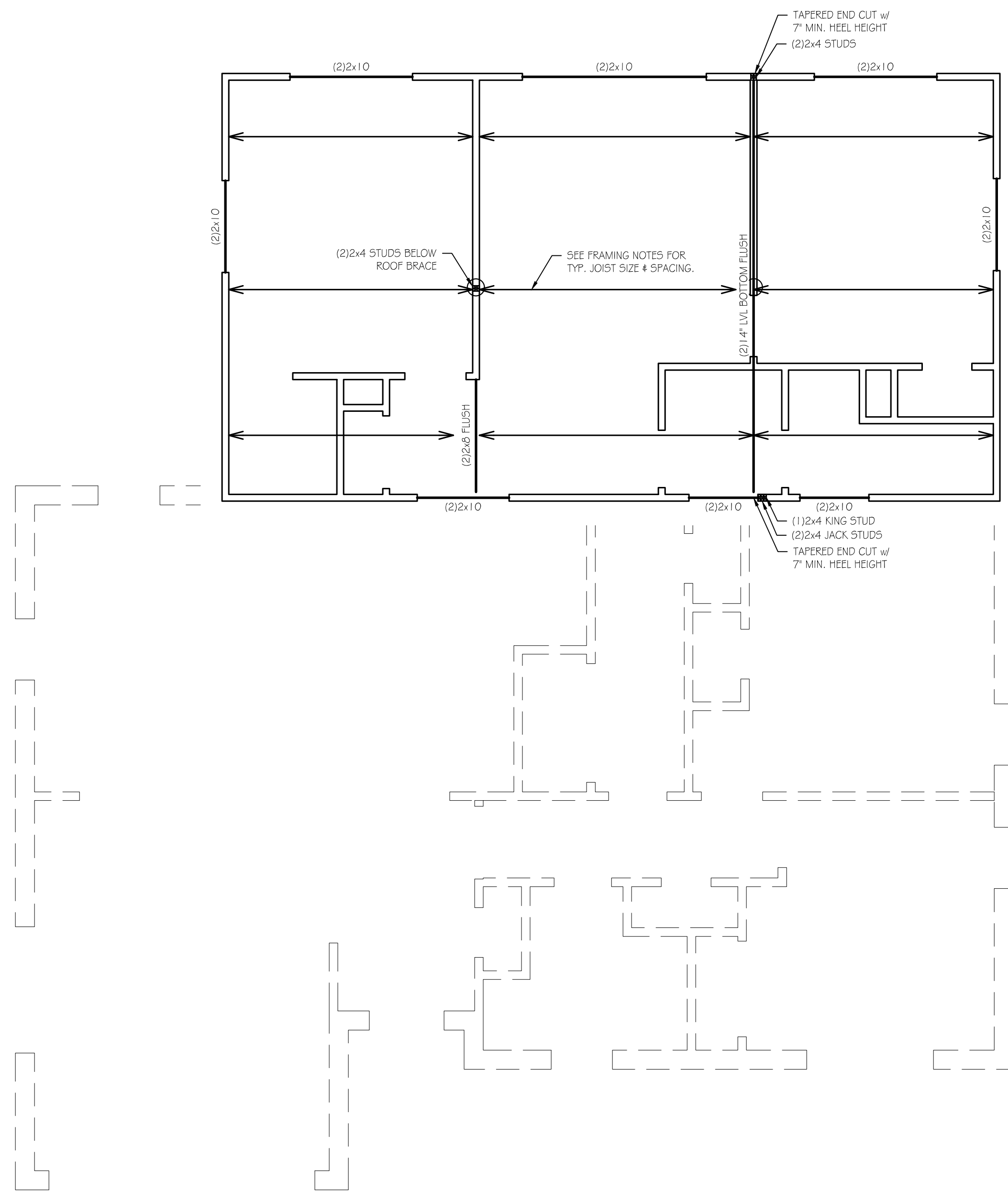
PACKED STUD SCHEDULE (APPLIES IF COL. IS NOT SPECIFIED ON PLAN)	
(2)2x	(2)FLY BEAM
(3)2x	(3)FLY BEAM
(4)2x	(4)FLY BEAM

IF ANY EXISTING CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN, CONTACT E.O.R., TYP. ALL SHEETS

ROOF FRAMING LEGEND	
NEW ROOF FRAMING	
EX. ROOF FRAMING	
2ND LEVEL WALLS	
1ST LEVEL WALLS (OUTSIDE FOOTPRINT OF 2ND LEVEL)	
NEW HEADERS OR BEAMS	
EXISTING HEADERS OR BEAMS	
BEAMS BELOW	
NEW RAFTERS	
EXISTING RAFTERS	
ROOF BRACING	
COLUMNS BELOW	
OVER - FRAMING	

ROOF DESIGN LOADS	
20 PSF	LIVE LOAD
10 PSF	DEAD LOAD

IF ANY EXISTING CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN, CONTACT E.O.R., TYP. ALL SHEETS



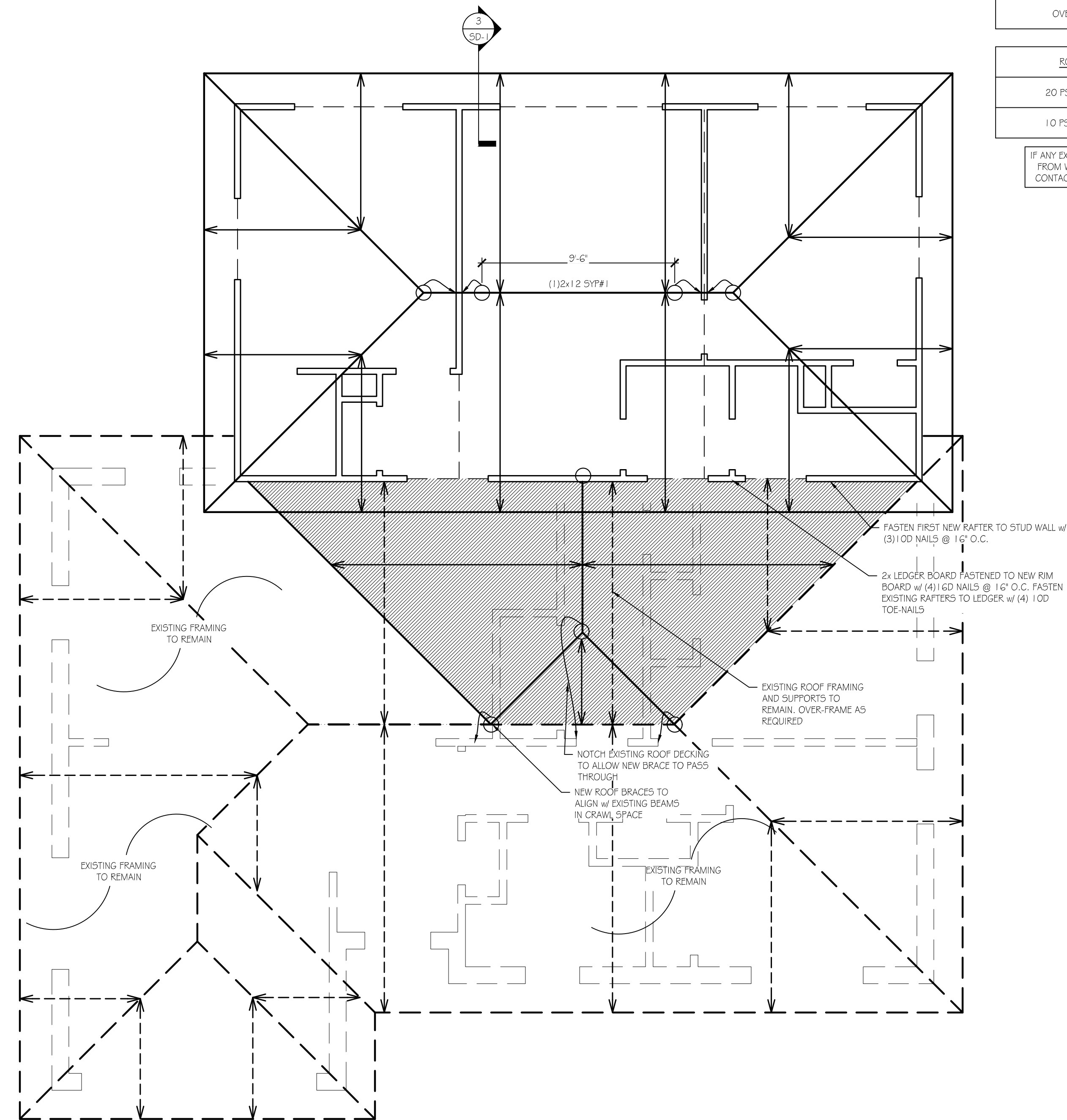
2ND LEVEL WALL (BELOW CEILING) FRAMING NOTES:

1. STUD WALLS TO BE 2x4 @ 16" O.C. w/ 8'-0" MAXIMUM STUD HEIGHT, U.N.O.
2. WINDOW & DOOR HEADERS IN LOAD BEARING WALLS w/ SPANS ≤ 4'-8" SHALL HAVE (1)2x JACK STUD; SPANS > 4'-8" SHALL HAVE (2)2x JACK STUDS, U.N.O.
3. WINDOW & DOOR HEADERS IN INTERIOR WALLS SHALL HAVE (1)2x KING STUD; EXTERIOR WALLS w/ SPANS ≤ 6'-0" SHALL HAVE (1)2x KING STUD; EXTERIOR WALLS w/ SPANS > 6'-0" SHALL HAVE (2)2x KING STUDS, U.N.O.
4. INTERIOR LOAD BEARING WALLS SHALL HAVE BLOCKING BETWEEN STUDS. DISTANCE BETWEEN BLOCKING PANELS AND BOTTOM OF PLATES SHALL NOT EXCEED 5'-0" O.C.
5. EXTERIOR WALLS TO BE FULLY SHEATHED w/ 1/2" APA RATED SHEATHING ATTACHED w/ 10d NAILS @ 6" O.C. AT PANEL EDGES & 12" O.C. AT INTERMEDIATE MEMBERS. PROVIDE BLOCKING BETWEEN STUDS AT PANEL EDGES. HORIZONTAL SHEATHING JOINTS SHALL NOT OCCUR AT THE FLOOR LINE. NOR SHALL VERTICAL OR HORIZONTAL JOINTS ALIGN WITH SIDES OF OPENINGS IN THE EXTERIOR WALLS. SHEATHING PANELS SHALL OVERLAP THE FLOOR LINE BY A MINIMUM OF 12 INCHES AND EXTEND A MINIMUM OF 12 INCHES BELOW THE BOTTOM OF THE FLOOR STRUCTURE.

CEILING FRAMING NOTES:

6. ALL CEILING JOISTS TO BE 2x8 @ 16" O.C., U.N.O.
7. WHERE JOISTS ARE PARALLEL TO EXTERIOR WALLS, PROVIDE FULL DEPTH BLOCKING @ 24" O.C. IN 1ST BAY TO BRACE WALL.

SEE SHEET S-0 FOR ADDITIONAL NOTES RELATED TO FRAMING. THESE NOTES INCLUDE WOOD SPECIES/GRADE, HANGER SPECIFICATIONS, AND BEAM PLY ATTACHMENT.



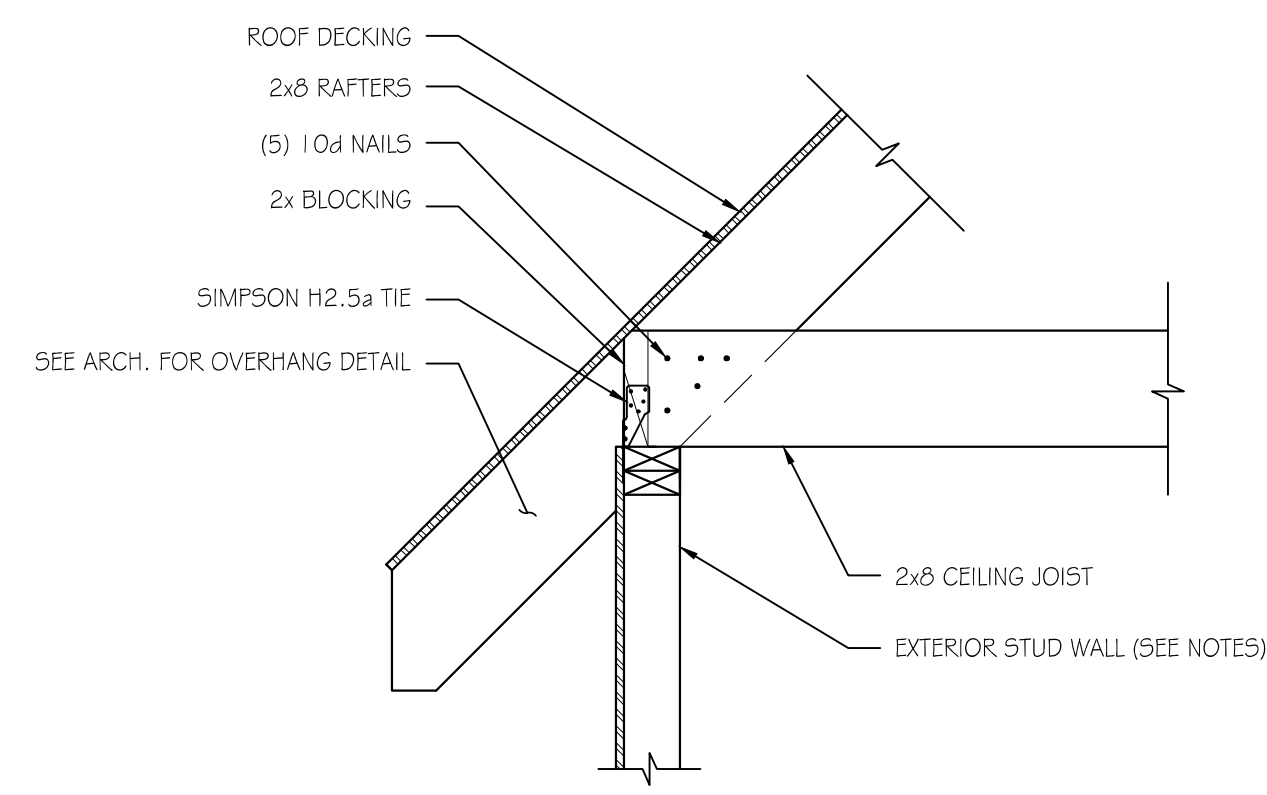
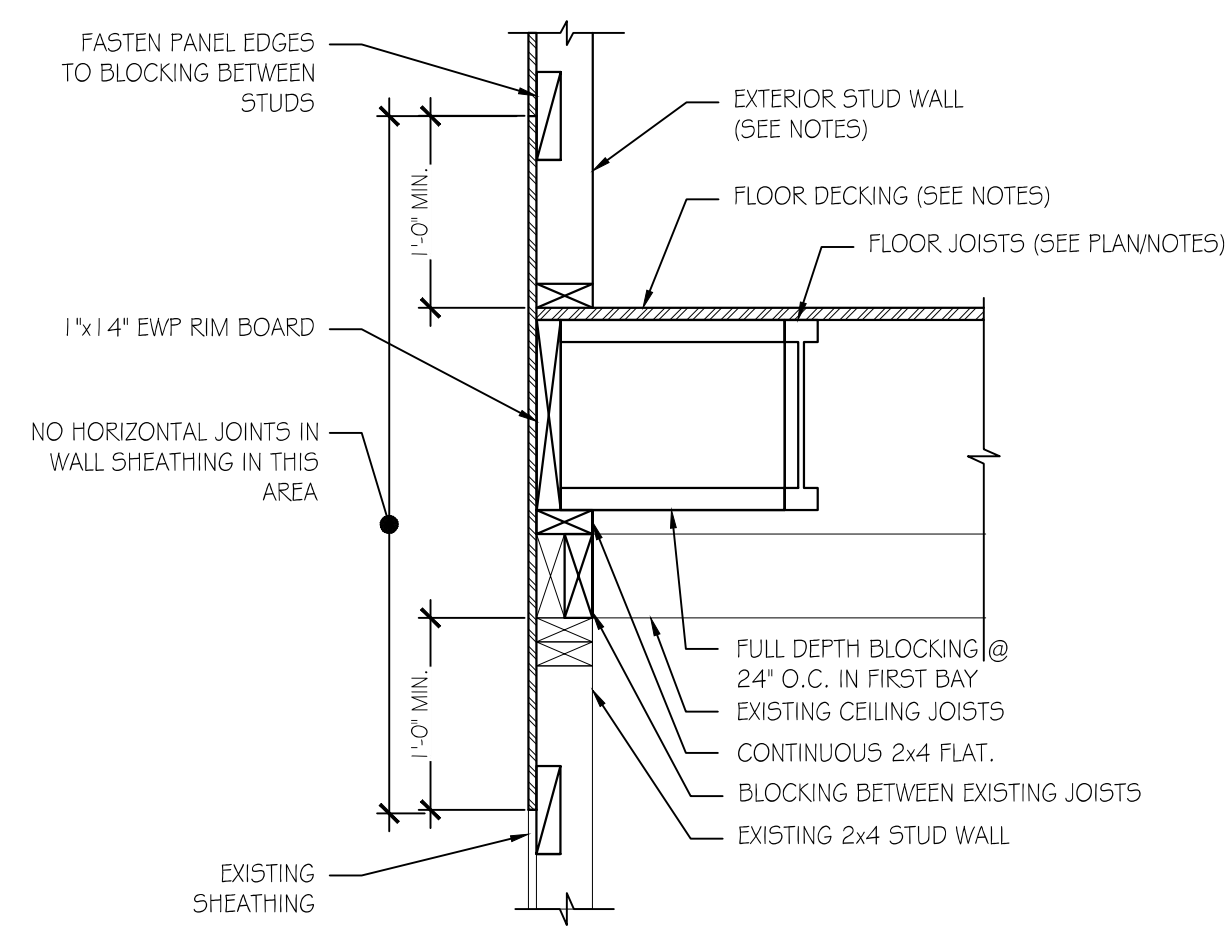
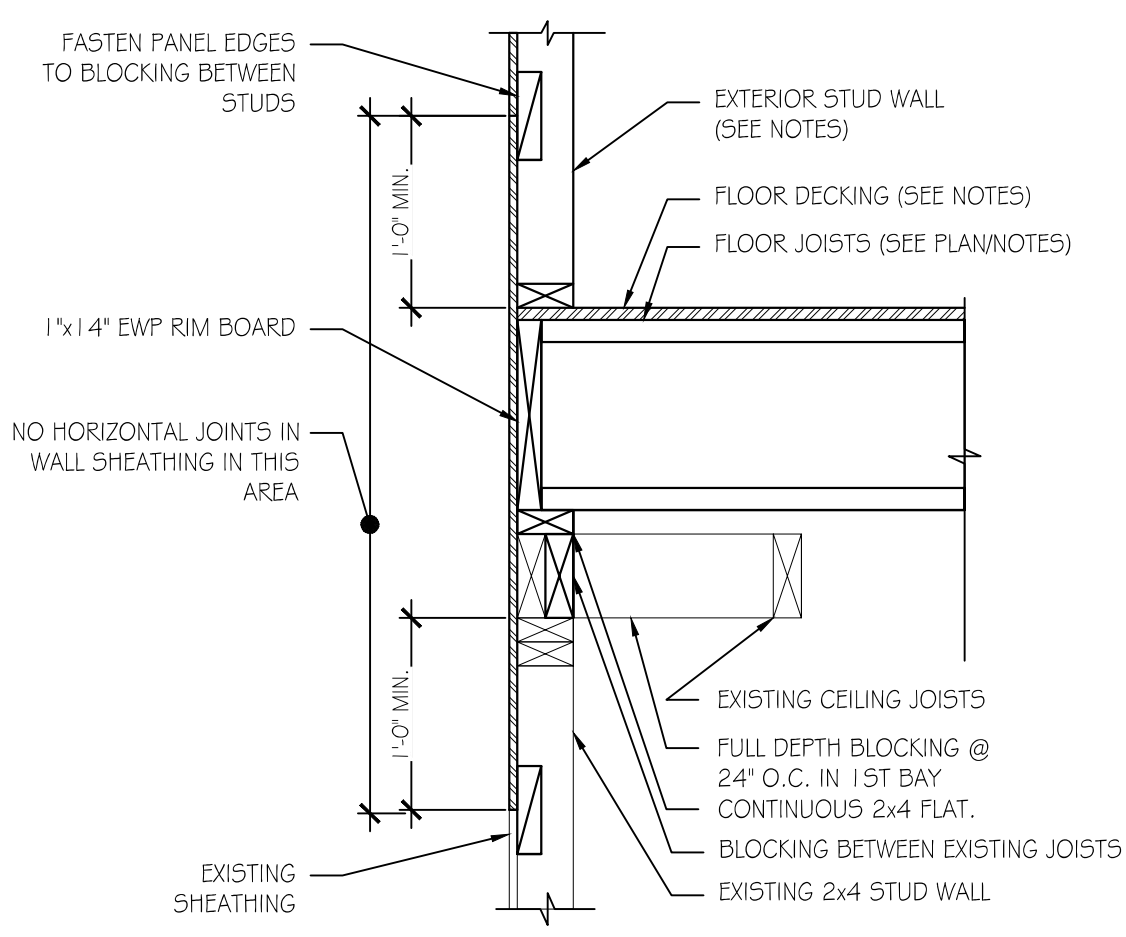
ROOF FRAMING NOTES:

1. ALL NEW RAFTERS TO BE 2x8 @ 16" O.C., U.N.O.
2. ALL HIP, VALLEY & RIDGE BOARDS TO BE (1)2x12, U.N.O.
3. ROOF DECKING TO BE 1/2" APA RATED SHEATHING ATTACHED w/ 10d NAILS @ 6" O.C. AT SUPPORTED EDGES & 12" O.C. AT INTERMEDIATE MEMBERS.
4. ALL RAFTERS THAT ARE LABELED 'OVER-FRAMING' SHALL BE EITHER BRACED AT THE TOP OR FULLY SHEATHED.
5. CONNECT CEILING JOISTS TO RAFTERS w/ A MIN. OF (5)10d NAILS, U.N.O.
6. ONLY BRACE PURLINS & RAFTERS ON CEILING BEAMS OR LOAD BEARING WALLS.

SEE SHEET S-0 FOR ADDITIONAL NOTES RELATED TO WOOD FRAMING. THESE NOTES INCLUDE WOOD SPECIES/GRADE, HANGER SPECIFICATIONS, AND BEAM PLY ATTACHMENT.

2
S-2
CEILING LEVEL FRAMING PLAN
SCALE: 1/4" = 1'-0"

2
S-2
ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



1 SECTION
SD-1 SCALE: 1" = 1'-0"

2 SECTION
SD-1 SCALE: 1" = 1'-0"

3 SECTION
SD-1 SCALE: 1" = 1'-0"

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- GREENE
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SUBMITTALS:
02/09/2024 STRUCTURAL DESIGN ISSUED

PROJECT NUMBER: 23484

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CHECKED BY: ADAM YOUNG

STAMP



STRUCTURAL
DETAILS

SD-1

RELEASED FOR CONSTRUCTION