



**ZONING BOARD OF APPEALS  
AGENDA  
Monday, March 11, 2024**

**Decatur City Hall  
City Commission Meeting Room  
509 North McDonough Street  
7:30 P.M.**

**I. Call to Order**

**II. Approval of Minutes**

Approval of Minutes from the February 12, 2024, meeting.

**III. Old Business**

Derek Bigham, property owner, has applied for a variance from setback and height requirements for the property located at 102 5<sup>th</sup> Avenue, Decatur, GA 30030. *This project was deferred from the August 2023, November 2023, and January 2024 meetings.*

**IV. New Business**

None

**V. Reports and Other Business**

None

**VI. Adjourn**

# VARIANCE APPLICATION

## Planning & Zoning

2635 Talley Street  
Decatur, GA 30030  
Phone 404-377-6198  
Fax 404-378-5054



Attach a survey of the property drawn to scale and showing the following information. Please provide one full-size copy of all plans, as well as one copy of all plans in an 8½" x 11" format. It is helpful to show floor plans and elevations of proposed building improvements, as well as a letter of support from adjacent property owners. If the applicant is not the current property owner, provide a notarized authorization for this application from the current property owner. See the stream variance submittal checklist for additional requirements for stream variances.

1. all property lines with dimensions
2. location of buildings and other structures, creeks and easements referenced to property lines
3. north arrow, scale, lot and block numbers and land lot
4. topographic and drainage information if pertinent

Address of property 102 5th Avenue Decatur, GA 30030

Name of applicant Derek Bigham Phone 404-234-8520

Address PO Box 956012 City/state/ZIP Decatur, GA 30033

Email derek@invest2911.com

Name of property owner 2911 Investment Group LLC Phone 404-234-8520

Address PO Box 956012 City/state/ZIP Decatur, GA 30033

Current zoning of property R-60

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Please answer all of the following questions on a separate sheet.

1. What is the variance requested? What code requirement do you wish to vary from?
2. What are the special conditions relating to the specific piece of property in question (narrowness, shallowness, shape, topography, or other extraordinary and exceptional situation)?
3. Explain how the application of the zoning ordinance to this specific piece of property results in peculiar, extraordinary and practical difficulties?
4. Are the circumstances or conditions applying to the building or land in question peculiar to the premises? Do they apply generally to other land or buildings in the vicinity?
5. Explain why the granting of this variance is necessary for the preservation and enjoyment of a property right and does not merely serve as a convenience to the applicant.
6. Did the condition for which the variance is sought result from an action by the applicant?
7. Explain how the variance will affect the supply of light and air to adjacent property, the traffic on public streets, the danger of fire, the public safety and established property values.
8. Explain how the granting of the variance will be in harmony with the general purpose and intent of the Decatur land use plan.
9. Will the granting of the variance allow a structure or use in a district restricted against such structure or use?

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I hereby certify that the above and attached statements and documents are true to the best of my knowledge and belief.

Applicant signature  Date 7/3/2023

This is a revised version of our previous narrative. Previous discussions in ZBA meetings focused on the site's flooding and water issues. In this submission, our proposal includes an elevated slab to raise the main floor level approximately 3-4 feet above grade in the rear, addressing the water accumulation issue. Additionally, we plan to implement a sub-grade drainage system to channel excess stormwater into the on-site manhole and the public stormwater system.

For this hearing, we are seeking setback variances on all four sides: approximately .6' on the right side, zero on the Oakview side, around 15.9 feet in the rear, and about 15.9 feet for the front setback.

Regarding the setback request, a concern raised in the previous meeting was the impact of our proposed building on sightlines and safety. Based on the attached drawings and site photos, our assessment indicates minimal impact on visibility and safety.

Since Oakview is a split road, it is a one-way street on each side of the traffic island. Our building placement will not significantly affect traffic in the north or south directions. The provided pictures show a clear path of at least 134 plus feet when traveling southbound; even with my truck parked on the existing sidewalk(see photos), there is a clear line of sight for incoming traffic. Notably, the existing trees on the traffic island pose more of a hazard than our proposed building.

We are also seeking a F.A.R variance, presenting three options. Two options would require an additional 727 SF of heated space, while the third option would need 587 SF of F.A.R variance. As stated above, the footprint does not affect visibility on the site, so adding additional square footage on the second story has no impact on any of the factors that were brought up in previous meetings.

While showing a parking pad/carport in the easement area, we ensure access to the on-property manhole for maintenance. We are proposing two options for the water management. One where downspouts tie into the manhole that is on the property and piped directly into the stormwater system, this should significantly reduce the flooding in that area. The second option is to do a permeable driveway.

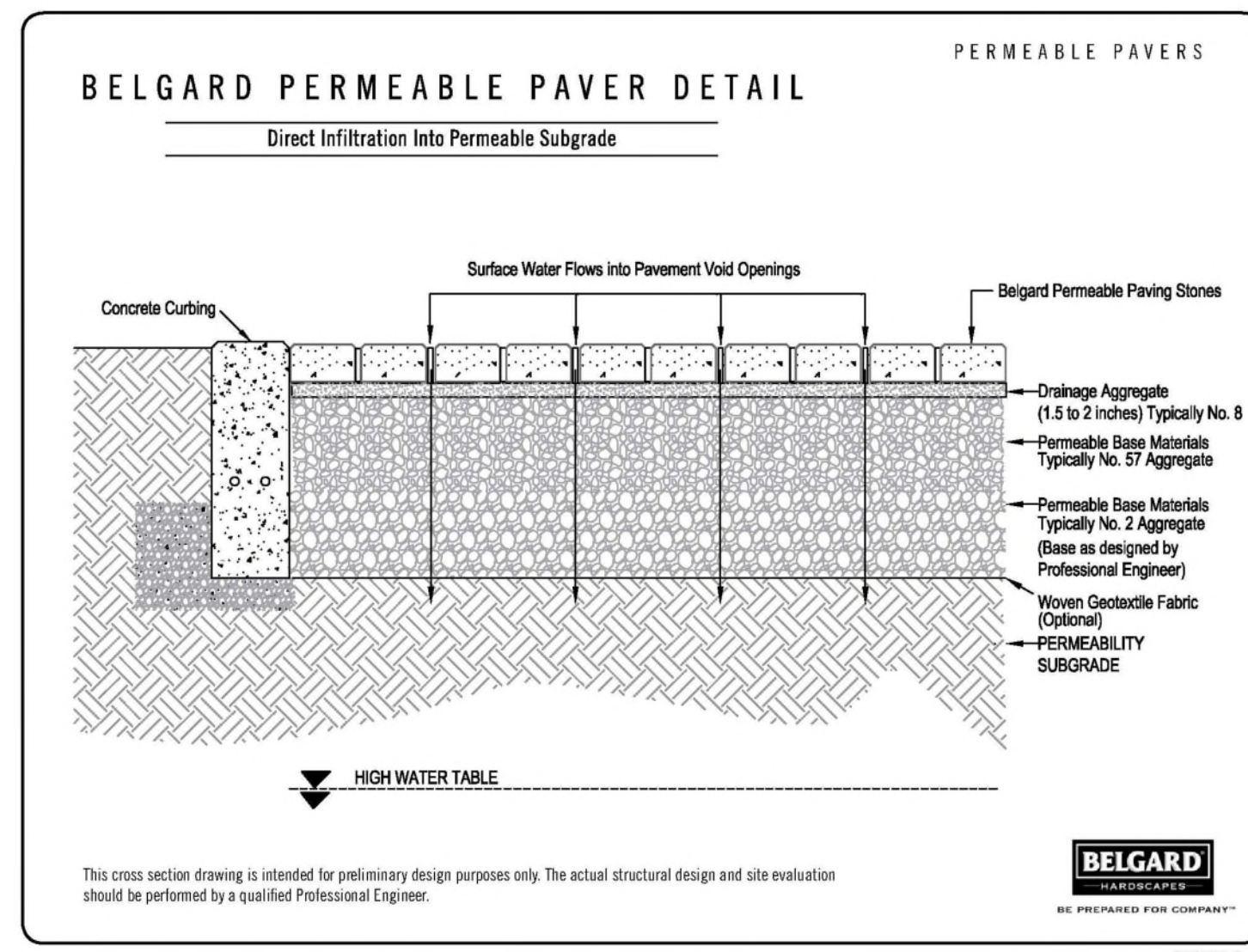
We understand that we could build up to 27 feet, but if that is not the case, we request a height variance.

Photos are in link below.

<https://app.companycam.com/galleries/qyP9X7jK>



HOUSE 685 SF  
 DRIVEWAY 386 SF  
 TOTAL = 1,071 SF



**SKETCH LAYOUT**  
 PROVIDE PLAN AND ELEVATION VIEWS OF PERVIOUS PAVER AND HOUSE SHOWING ROOF AREA DIRECTED TO PAVERS AND KEY DIMENSIONS, CONNECTIONS AND ANY APPLICABLE OVERFLOW RELATIVE TO PROPERTY LINE. ATTACH MANUFACTURER'S SPECIFICATIONS IF APPLICABLE.

**SIZING CALCULATION:**

Contributing Drainage Area (square feet)	Depth of Lower Stone Storage Layer (inches)				
	3	4	5	6	8
100	54	45	39	34	27
500	285	230	200	170	140
1000	550	460	390	340	280
2000	1090	910	780	680	550
3000	1635	1350	1170	1020	820
4000	2180	1810	1550	1360	1090
5000	2725	2270	1940	1700	1365

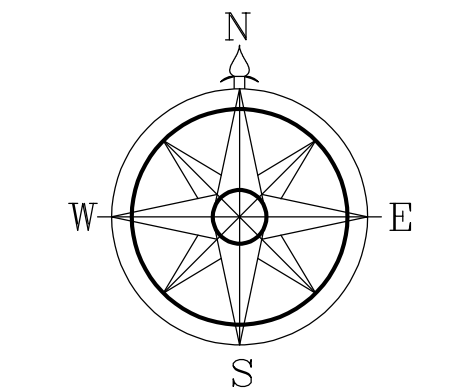
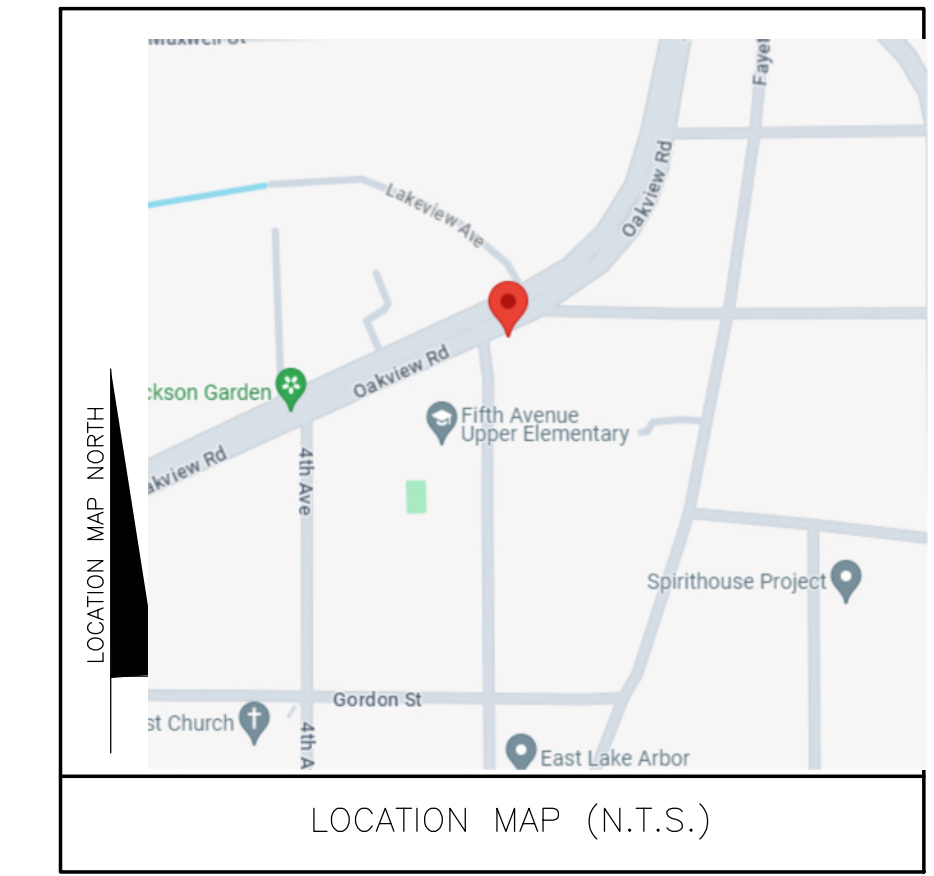
- MAINTENANCE:**
1. REMOVE ACCUMULATED SEDIMENT AND DEBRIS FROM JOINT SPACE MONTHLY.
  2. OBSERVE THE PERMEABLE PAVER SYSTEM FOR EXCESSIVE PONDING DURING STORM EVENTS AND REPAIR AS NEEDED.
  3. VACUUM, SWEEP, OR BLOW PERMEABLE PAVER SURFACE QUARTERLY TO KEEP THE SURFACE FREE OF SEDIMENT. NEW STONE MAY NEED TO BE SWEPT INTO THE JOINTS AS NEEDED.
  4. INSPECT PERMEABLE PAVER SURFACE FOR DETERIORATION ANNUALLY. REPAIR OR REPLACE ANY DAMAGED AREAS AS NEEDED.

MEASURE CONTRIBUTING DRAINAGE AREA AND READ AREA FOR GIVEN MEDIA DEPTH.  
 CONTRIBUTING DRAINAGE AREA = 1,071 SQ FT  
 DEPTH OF STONE MEDIA = 8 INCHES  
 PAVEMENT AREA = 386 SQ FT

CITY OF ATLANTA  
 DEPARTMENT OF WATERSHED MANAGEMENT

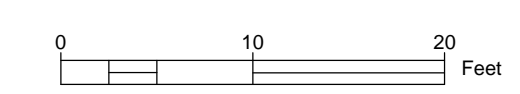
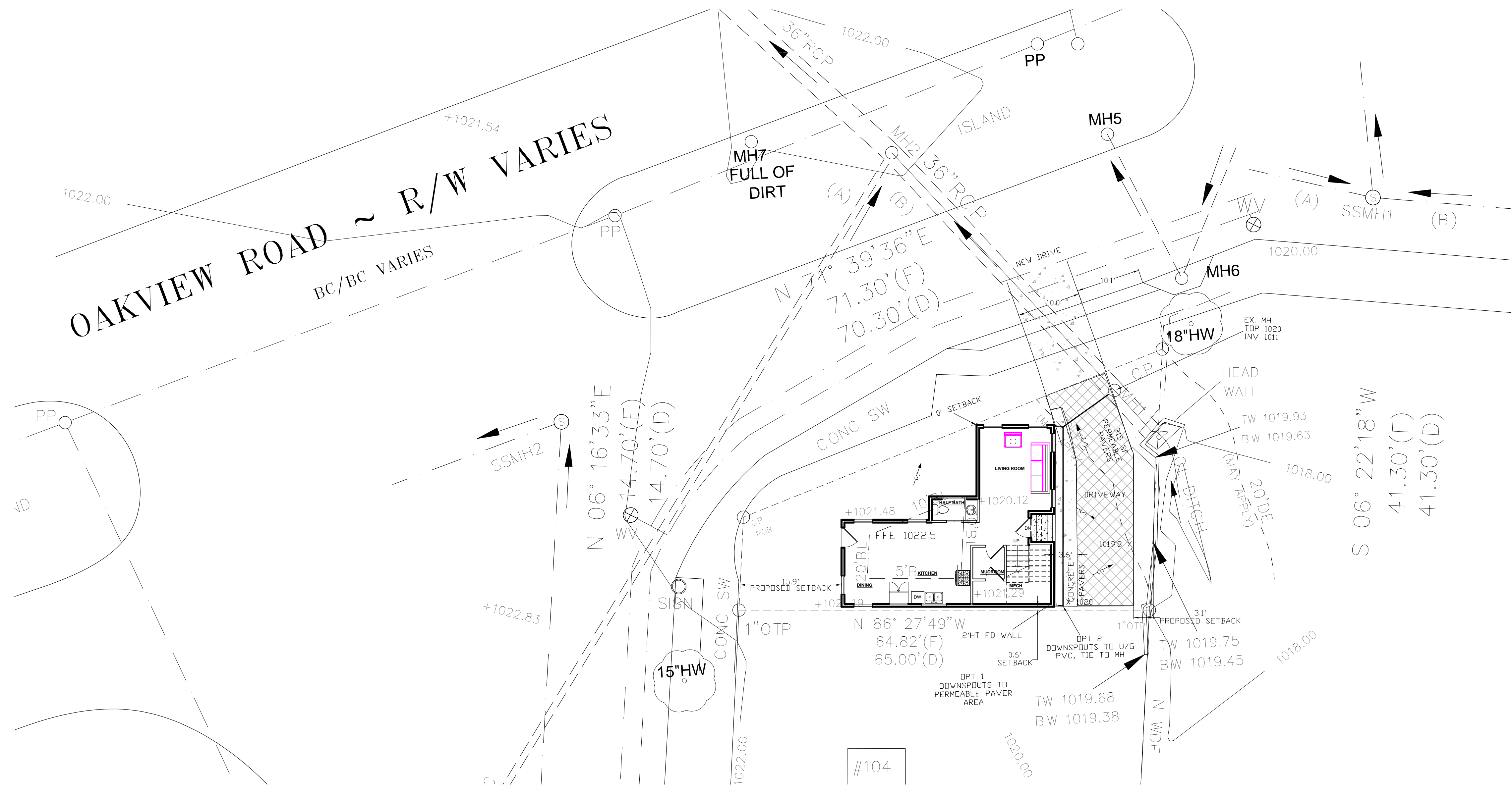
ATTACH THIS TWO-PAGE SPECIFICATION TO HOUSE PLAN SUBMITTAL

PERMEABLE PAVER SPECIFICATIONS PAGE 2 OF 2



BRAWN BY: TLD  
 CHECKED BY: TLD  
 APPROVED:

**DAWSON ENGINEERING CONSULTANTS, LLC**  
 3487 CARLISLE COURT, SE  
 CONTERS, GEORGIA 30013  
 PH: 678-485-9610  
 EMAIL: tonyd@dawsonec.com



DATE	NO.	REVISIONS	BY
1-23-24	20	CP	TLD

SCALE: 1" = 20'

**SITE PLAN**  
 FOR  
**102 5TH AVE**  
 LOCATED AT  
 102 5TH AVE  
 DECATUR, GA 30030

BDP CLIENT ADDRESS



CODE COMPLIANCE

- INTERNATIONAL BUILDING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL FIRE CODE, 2018 EDITION (CONTACT STATE FIRE MARSHAL BELOW)
- INTERNATIONAL PLUMBING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL MECHANICAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL FUEL GAS CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- NATIONAL ELECTRICAL CODE, 2020 EDITION (NO GEORGIA AMENDMENTS)
- INTERNATIONAL ENERGY CONSERVATION CODE, 2015 EDITION, WITH GEORGIA SUPPLEMENTS AND AMENDMENTS (2020)
- INTERNATIONAL SWIMMING POOL AND SPA CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)

CODE REQUIREMENTS

- ALL CONSTRUCTIONS TO BE IN ACCORDANCE WITH THE APPLICABLE CODES, REGULATIONS AND ORDINANCES OF THE LOCAL CODES.
- CONTRACTOR TO FIREPROOF AS REQUIRED BY THE LOCAL CODES
- CONTRACTOR TO BE RESPONSIBLE THAT ALL CONSTRUCTION AND MATERIAL SELECTION CONFORM WITH ALL CODES, REGULATIONS AND ORDINANCES OF FEDERAL, STATE, AND LOCAL CODES
- THE CONTRACTOR TO HAVE A LICENSED SURVEYOR TO LAYOUT THE EXISTING AND PROPOSED BUILDING AND SETBACK LINES BEFORE STARTING CONSTRUCTION AND DIGGING FOUNDATIONS.
- THE CONTRACTOR IS TO VERIFY THE STRUCTURE IS IN COMPLIANCE WITH THE ZONING AND SETBACKS
- THE CONTRACTOR TO PROVIDE ALL REQUIRED BUILDING PERMITS BEFORE STARTING ANY WORK. CONTRACTOR TO PROVIDE ALL CERTIFICATES OF OCCUPANCY PERMITS TO OWNER AT COMPLETION
- CONTRACTOR TO HIRE STRUCTURAL ENGINEER TO VERIFY ALL STRUCTURAL LOADS, BEAM SIZES AND BEAM LOCATIONS BEFORE THE START OF PROJECT
- CONTRACTOR TO HIRE A SOILS ENGINEER (OR STRUCTURAL ENGINEER) TO VERIFY EXIST. SOIL STRENGTHS AND NEW FOOTING SIZES REQUIRED

1. ALL WORK IS TO COMPLY WITH THE LATEST ADOPTED VERSION OF THE UNIFORM BUILDING CODE AND ANY APPLICABLE STATE, COUNTY OR LOCAL REGULATIONS.

2. THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND IS TO NOTIFY THE DESIGNER OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.

3. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS.

4. DESIGN LOADS:

(LIVE)	ROOF	25 PSF (LIVE LOAD)
	FLOOR	40 PSF
	STAIRS	100 PSF
	GARAGE FLOOR	50 PSF (2000" PT)
	DECKS	60 PSF

(IF YOUR LOCAL AREA REQUIRES DIFFERENT DESIGN LOADS CONSULT WITH A LOCAL STRUCTURAL ENGINEER TO DETERMINE THE APPROPRIATE REVISIONS.)

5. INSULATION:

ROOF (VAULTED)	R-30
ROOF (FLAT)	R-28
WALLS (EXTERIOR)	R-19
FLOOR (OVER UNHEATED SPACE)	R-25
BASEMENT WALLS (W/12" OF GRADE)	R-21
SLAB ON GRADE	R-15
FURNACE DUCTS (UNHEATED SPACE)	R-6
BASEMENT WALLS (HEATED)	R-15

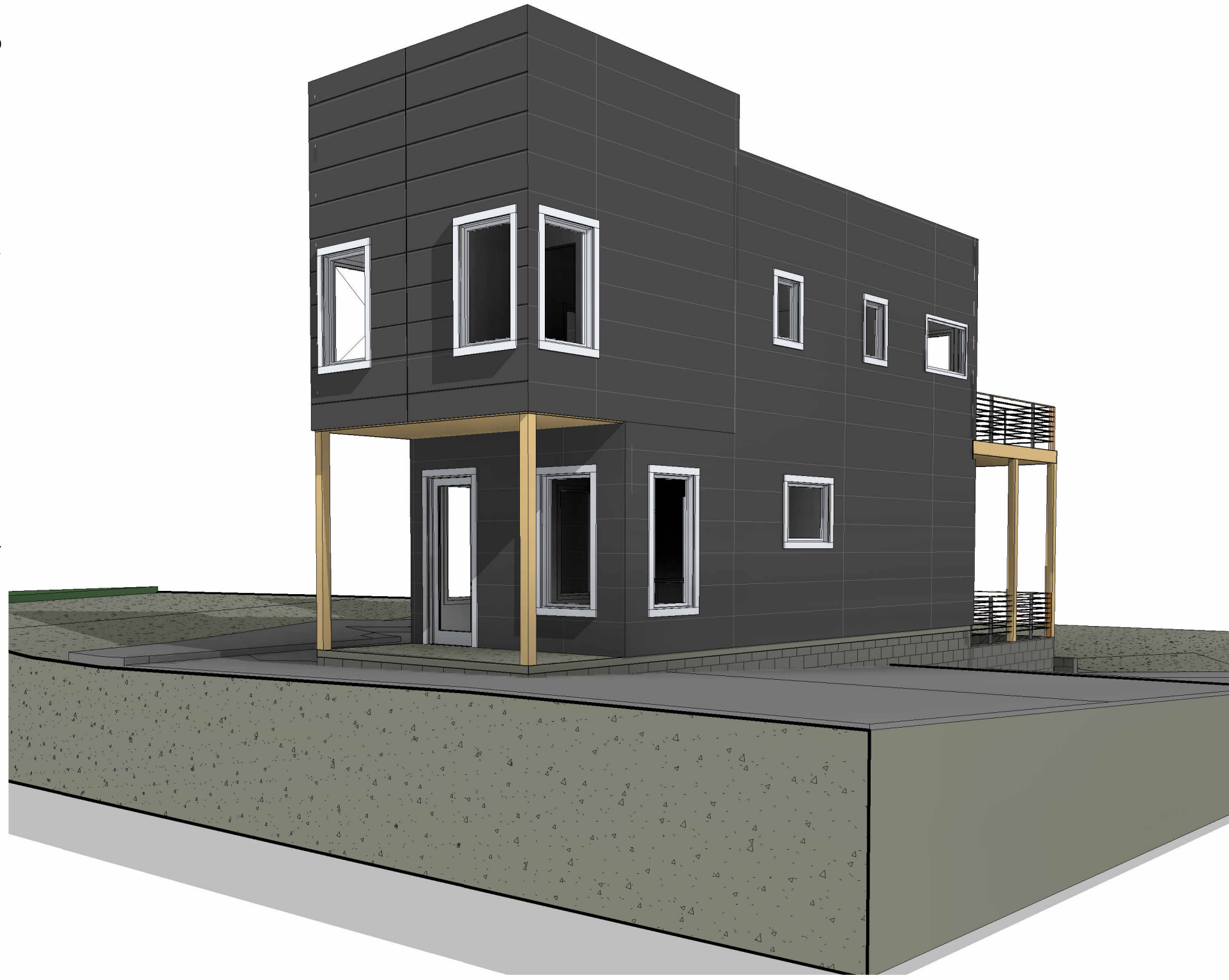
6. THE ABOVE VALUES ARE A MINIMUM AND MAY BE INCREASED IF DESIRED. VERIFY WITH CONTRACTOR.

7. ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.

8. PROVIDE INSULATION BAFFLES AT EAVE VENTS BETWEEN RAFTERS.

9. ROOF VENTS TO TOTAL MORE THAN 1/300 OF THE ATTIC AREA BEING VENTILATED.

3D View 1



# 102 5TH AVE DECATUR GA 30030



3D View 2



3D View 3

FRAMING NOTES

1. ALL EXTERIOR WALL OPENINGS AND BEARING WALL OPENING TO HAVE (2) 2X12 HEADERS UNLESS OTHERWISE NOTED

2. JOISTS THAT ARE ATTACHED TO FLUSH BEAMS ARE TO BE HUNG WITH SUMPSON " LUS210" OR EQUIVALENT.

3. PROVIDE DOUBLE OR TRIPLE JOISTS UNDER ALL PARALLEL PARTITIONS OVER PROVIDED FIRE BLOCKING. DRAFTSTOPS & FIRESTOPS AS PER ICC RESIDENTIAL CODE 2006.

4. HIP, VALLEY RAFTERS AND RIDGE BOARDS TO ALWAYS BE A BOARD SIZE 2" LARGER THAN RAFTERS.

5. PROVIDE COLLAR TIES @ THE UPPER THIRD(1/3) OF VERTICAL DISTANCE BETWEEN RIDGE BOARD AND JOISTS @ 4'-0 O.C.

6. PROVIDE "X" BRIDGING @ 8'-0" O.C MAXIMUM PER JOIST.

7. PROVIDE SOLID BLOCKING AT MIDHEIGHT FOR ALL WALLS.

8. ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED (P.T)

9. ANCHOR BOLTS SHALL BE 3/4"x10" @ 48" O.C. AND BE WITHIN 12" FROM THE END OF SILLS AND CORNERS. PROVIDE MINIMUM OF TWO (2) BOLTS PER SILL EMBEDDED 7" INTO CONCRETE OR MASONRY.

10. PROVIDE CONTINUOUS PERFORATED EAVE VENTS FOR ATTIC VENTILATION

11. PROVIDE CONTINUOUS PERFORATED EAVE VENTS FOR ATTIC VENTILATION

12. LUMBER SPECIES:  
A. POSTS, BEAMS, HEADERS, JOISTS AND RAFTERS - NO. 1 OR NO. 2 SOUTHERN YELLOW PINE.

B. BLOCKING, BRIDGING, ETC. - NO. 1 OR NO. 2 SOUTHERN YELLOW PINE

C. SILLS & PLATES - PRESSURE TREATED (P.T)

D. STUDS - NO. 1 OR NO. 2 GRADE PRECUT STUDS (SOUTHERN YELLOW PINE OR DOUGLAS FIR).

E. POST & BEAM DECKING - UTILITY GRADE D.F.

F. PLYWOOD SHEATHING - CDX PLYWOOD (SEE PLANS FOR SIZE).

13. ALL BASEMENT LEVEL STUDS SHALL BE 9'-0" IN HEIGHT FRAMED WITH PRESSURE - TREATED SINGLE BOTTOM PLATE AND DOUBLE TOP PLATE (2 X MATERIAL).

14. ALL MAIN LEVEL STUDS SHALL BE 10'-0" IN HEIGHT FRAMED WITH SINGLE BOTTOM-PLATE AND DOUBLE TOP PLATE (2 X MATERIAL). ALL SECOND FLOOR STUDS SHALL BE 10'-0" IN HEIGHT FRAMED WITH SINGLE BOTTOM-PLATE AND DOUBLE TOP PLATE (2 X MATERIAL)

15. ALL EXTERIOR WALL SHALL BE FRAMED WITH 2X4 STUDS @ 16" O.C. MAX. U.N.O

16. ALL INTERIOR WALLS SHALL BE FRAMED USING 2X4 STUDS @ 16" O.C. UNLESS OTHERWISE NOTED. ANY NOTED INTERIOR WALLS FRAMED WITH 2X6 STUDS SHALL ALSO BE @ 16" O.C

- ALL EXTERIOR WALL OPENINGS & BEARING WALL OPENINGS TO HAVE 4 X 12 HEADERS UNLESS OTHERWISE INDICATED.
- JOISTS THAT ARE ATTACHED TO FLUSH BEAMS ARE TO BE HUNG WITH "SIMPSON" U-210 OR EQUIV.
- PROVIDE DOUBLE JOISTS UNDER ALL WALLS ABOVE RUNNING PARALLEL TO JOISTS.
- PROVIDE FIREBLOCKING, DRAFTSTOPS & FIRESTOPS AS PER THE U.B.C. SEC. 2516F.
- LUMBER SPECIES:  
A. POSTS, BEAMS, HEADERS, JOISTS AND RAFTERS  
B. SILLS, PLATES, BLOCKING, BRIDGING ETC.  
C. STUDS  
D. POST 4 BEAM DECKING  
E. PLYWOOD SHEATHING  
F. GLU-LAM BEAMS  
NO. 2 DOUGLAS FIR  
NO. 3 DOUGLAS FIR  
STUD GRADE DF.  
UTILITY GRADE DF.  
1/2" CDX PLY, 32/16  
FB-2400, DRY ADH.
- |   |                           |                     |
|---|---------------------------|---------------------|
| JOIST TO SILL OR GIRDER BRIDGING TO JOIST | 3-8d                      | TOE NAIL            |
| 2" SUBFLOOR TO GIRDER                     | 2-8d                      | TOE NAIL            |
| SOLE PL. TO JOIST                         | 2-16d                     | FACE NAIL           |
| SOLE PL. TO STUDS                         | 16d @ 16"                 | FACE NAIL           |
| STUD TO SOLE PL.                          | 2-16d                     | END NAIL            |
|   | 4-8d                      | TOE NAIL OR         |
|   | 2-16ed                    | END NAIL            |
| DOUBLE STUDS                              | 16d @ 16"                 | FACE NAIL           |
| DOUBLE TOP PL.                            | 16d @ 16"                 | FACE NAIL           |
| CONTINUOUS HEADER (2 PC.)                 | 16d @ 16"                 | EDGE NAIL           |
| CLG. JST. TO PL.                          | 3-8d                      | TOE NAIL            |
| CLG. JST. LAP OVER PL.                    | 3-16d                     | FACE NAIL           |
| CLG. JST. TO RAFTER                       | 3-8d                      | TOE NAIL            |
| RAFTER TO TOP PL.                         | 16d @ 24"                 | FACE NAIL           |
| BUILT-UP CORNER STUDS                     | 8d @ 6"                   | EDGE NAIL           |
| PLYWOOD SUBFLOOR                          | 8d @ 10"                  | INTERIOR            |
| PLY WALL 4 ROOF SHEATHING                 | 8d @ 12" @ 6"             | EDGE NAIL           |
| TOP PL. AT INTERSECTIONS                  | 2-16d                     | FACE NAIL           |
| MULTIPLE JOISTS (UP TO 3)                 | 16d @ 15"                 | STAGGER NAIL        |
| MULTIPLE JOISTS (OVER 3)                  | 1/2" DIA. BOLTS WAUASHERS | EA. SIDE @ 24" O.C. |
| 1 X 6 SPACED SHEATHING                    | 2-8d                      | FACE NAIL           |
- MANUFACTURED TRUSS JOISTS MAY BE SUBSTITUTED FOR 2 X JOISTS WHERE APPLICABLE.

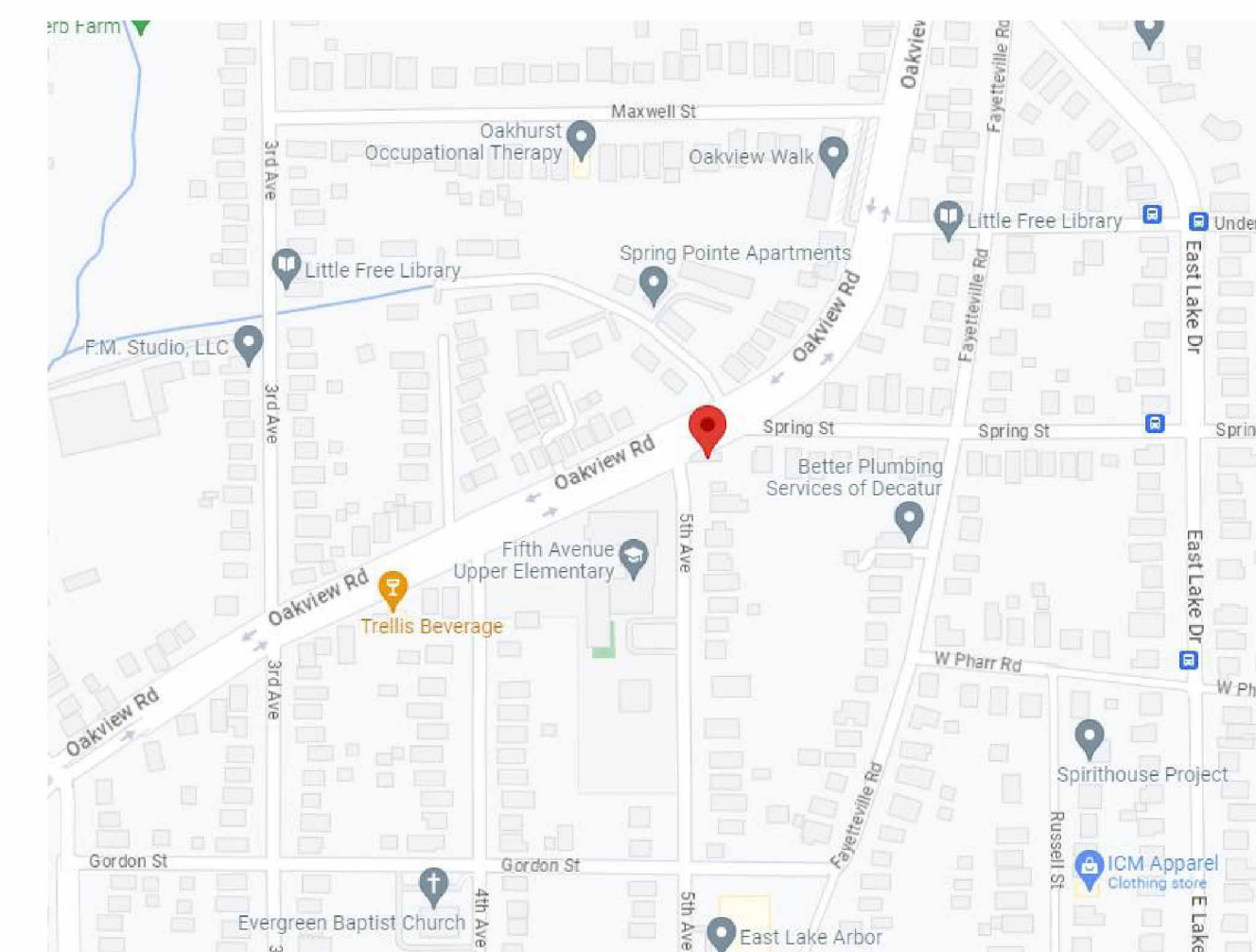
GENERAL NOTES

- TRIM FOR INSIDE AND OUTSIDE TO BE SELECTED BY OWNER
- THE WOOD DECK POSTS MUST RESIST 200LB. FROM ANY DIRECTIONS
- PROVIDE A WIRED DIRECTLY SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR AT EACH FLOOR/IN EACH BEDROOM AND AT HALLWAY OUTSIDE BEDROOM
- PROVIDE GFI OUTLETS BY ALL SINKS, AND WET AREAS
- 1/150 VENTILATION MIN. AREA FOR ATTIC AND UNDER FLOOR (WHICHEVER APPLIES) IS REQUIRED
- A FAN IS REQUIRED IN ALL WET AREA ROOMS IF AN OPERABLE WINDOW IS NOT IN THE ROOM
- IN ALL HABITABLE ROOMS, 8% MIN. LIGHT AND 4% MIN. VENTILATION AREA IS REQUIRED
- PROVIDE DOUBLE FLOOR JOISTS UNDER ALL PARALLEL PARTITION WALLS AND SOLID CONTINUOUS 2X SOLID BLOCKING UNDER ALL PERPENDICULAR PARTITION WALLS. LOAD BEARING WALLS NEED DESIGNED BEAM OR WALL UNDER THEM. (SEE STRUCTURAL FOR FRAMING PLAN)
- PRESSURE TREATED WOOD IS REQUIRED @ ALL CONTACT WITH CONCRETE AND EXPOSED TO WEATHERING CONDITIONS. DECAY RESISTANT WOOD INCLUDE REDWOOD BLACK LOCUST AND CEDARS
- PROVIDE 34"-38" HEIGHT HANDRAIL @ ALL STAIRS IF 4 OR MORE RISERS ARE PRESENT (SEE ELEVATIONS)
- PROVIDE 1/2" MIN. SHEATHING (4" WIDE IN. PLATE TO PLATE) OR 1X4 LET-IN OR APPROVED METAL STRAPS WALL BRACING REQUIRED FOR STRENGTHENING WALLS FOR MIN. SHEAR. THIS IS TO BE ACCOMPLISHED AT 25' ON CENTER AND ALL CORNERS, AT ALL LEVELS WITH WOOD FRAMING. THE LET-INS SHALL BE AS CLOSE TO 45 DEG. AS POSSIBLE.
- TEMPERED GLASS IS REQUIRED WHEN SILL IS LESS THAN 18" ABOVE THE FINISHED FLOOR, 24" FROM THE EXTERIOR DOOR OPENING AND WITH 60" VERTICAL ABOVE TUB OR SHOWER ENCLOSURE. ALL GLASS IN DOORS TO BE TEMPERED (SEE FLOOR PLAN)
- PROVIDE 6"-9" MIN. HEAD CLEARANCE ABOVE STAIR AT ANY POINT.
- PROVIDE 36" MIN. HEIGHT RAILING @ ALL BALCONY, PORCH, DECK OR SURFACE WHERE THE DIFFERENCE IN THE HEIGHT TO THE GROUND IS 30" OR HIGHER (SEE ELEVATION)
- PROVIDE 3'-0" MIN. ACCESS WIDTH THROUGHOUT THE STRUCTURE INCLUDING STAIRS, HALLWAY, ETC.
- PROVIDE PULL DOWN STAIRS TO ATTIC. (MIN. 22' X 30' MIN. ATTIC ACCESS)
- PROVIDE 20'X22' MIN. OPENING SIZE WITH A 4' MAX WALL HEIGHT REQUIRED AT ONE WINDOW, IN EACH BEDROOM FOR EMERGENCY EGRESS.
- PROVIDE 7 1/2" MAX RISER HEIGHT AND 10' MIN. TREAD WIDTH AT ALL INTERIOR STAIRS
- 1/2" GYP. BD. REQUIRED UNDER ALL STAIRS THAT USE THE AREA AS HABITABLE ROOM. (SEE PLAN AT BASEMENT)
- DUAL GLAZING IS REQUIRED IF THE GLAZING AREA EXCEEDS 10% OF THE FLOOR AREA AND THE R-13 WALL INSULATION IS REQUIRED IF GLAZING AREA EXCEEDS 14% OF THE FLOOR AREA
- A LIGHT GAGE MECHANICAL CONNECTIONS IS REQUIRED AT THE BOTTOM OF ALL POST OR BUILT-UP POSTS WHEN IT SUPPORTS A POST, BEAM, FLOOR OR ROOF STRUCTURE ABOVE THAT CAN RESTRAIN POST FROM ANY MOVEMENT
- ALL EXISTING CONDITIONS AND DIMENSIONS TO BE VERIFIED BY CONTRACTOR
- INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDED SPECIFICATIONS
- THE FINAL GRADING OF THE LOT MUST BE GRADED SO ALL SURFACE WATER DRAINS AWAY FROM THE STRUCTURES. PROVIDE DRAINAGE UNDER ALL PARTS OF THE BUILDING NOT INCLUDED IN THE BASEMENT OR CRAWL SPACES.
- CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS, EXISTING CONDITIONS AND DIMENSIONS. CONTACT THE ARCHITECT IF THERE ARE CONFLICTS
- CONTRACTOR SHALL VERIFY ANY CONFLICTS WITH LOCATIONS OR MECHANICAL, ELECTRICAL, AND PLUMBING AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE PROVIDED.

AREA SCHEDULE		SHEET LIST	
NAME	AREA	SHEET NUMBER	SHEET NAME
		A0.0	COVER SHEET
		A0.1	EXISTING SURVEY
CARPORT	352 SF	A0.2	SITE LAYOUT
UNCOVERED DECK	171 SF	A1.0	FOUNDATION AND ROOF PLAN
	<b>523 SF</b>	A1.1	FLOOR PLANS
		A2.0	EXTERIOR ELEVATIONS
<b>HEATED TOTAL</b>		A2.1	EXTERIOR ELEVATIONS
MAIN FLOOR	581 SF	A3.0	ROOF PLAN
SECOND FLOOR	870 SF	A4.0	SECTIONS
		A5.1	WALL DETAILS
		A5.2	DETAILS
		A5.3	FRAMING PLANS
		A5.4	SPAN TABLES
		A5.5	SPAN CHARTS
		A5.6	LOAD CALCS
		A5.7	LOAD CALCS
<b>TOTAL</b>	<b>1451 SF</b>		

AREA SCHEDULE LOT COVERAGE			
NAME	AREA	Site Area	LOT COVERAGE
CARPORT	352 SF		0%
MAIN FLOOR	581 SF	1809 SF	32%
<b>TOTAL LOT COVERAGE</b>	<b>933 SF</b>		<b>32%</b>

AREA SCHEDULE F.A.R				
NAME	AREA	Site Area	F.A.R	Above/Below Grade
<b>HEATED TOTAL</b>				
MAIN FLOOR	581 SF	1809 SF	32%	ABOVE GRADE
SECOND FLOOR	870 SF	1809 SF	48%	
	<b>1451 SF</b>		<b>80%</b>	



VICINITY MAP

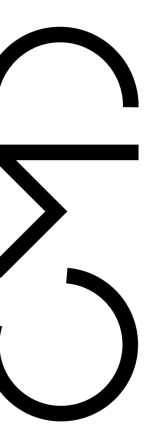
Date	Description	No.

DRAWN BY : CHRISTOPHER J MALONE  
DESIGNED BY: CHRIS MALONE DESIGNS

CONTRACTOR CONTACT:  
DEREK BIGHAM  
NEW CONSTRUCTION  
DESIGNS LLC

OWNER CONTACT:  
DEREK BIGHAM  
NEW CONSTRUCTION

PLAN NAME  
PROJECT NUMBER : 2021-002  
PROJECT ADDRESS:  
102 5TH AVE DECATUR  
GA 30030



COVER SHEET  
**A0.0**  
CHRIS MALONE  
DESIGNS

RELEASED FOR CONSTRUCTION  
1/17/2024 3:07:50 PM  
THIS WORK IS THE INTELLECTUAL PROPERTY OF CJM DESIGNS LLC AND SHALL NOT BE REPRODUCED WITHOUT PERMISSION  
© COPYRIGHT - 2017



AREA SCHEDULE LOT COVERAGE			
NAME	AREA	Site Area	LOT COVERAGE
CARPORT	352 SF		0%
MAIN FLOOR	581 SF	1809 SF	32%
<b>TOTAL LOT COVERAGE</b>	<b>933 SF</b>		<b>32%</b>

AREA SCHEDULE F.A.R				
NAME	AREA	Site Area	F.A.R	Above/Below Grade
<b>HEATED TOTAL</b>				
MAIN FLOOR	581 SF	1809 SF	32%	ABOVE GRADE
SECOND FLOOR	870 SF	1809 SF	48%	
<b>TOTAL</b>	<b>1451 SF</b>		<b>80%</b>	

AREA SCHEDULE	
NAME	AREA
CARPORT	352 SF
UNCOVERED DECK	171 SF
<b>TOTAL</b>	<b>523 SF</b>
<b>HEATED TOTAL</b>	
MAIN FLOOR	581 SF
SECOND FLOOR	870 SF
<b>TOTAL</b>	<b>1451 SF</b>

No.	Description	Date

RELEASED FOR CONSTRUCTION

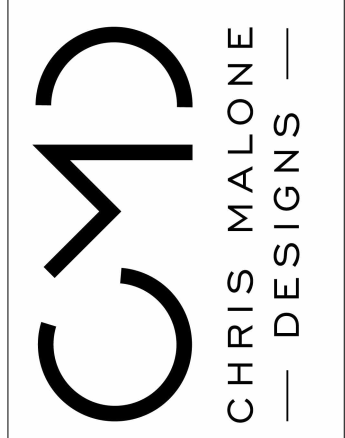
DRAWN BY : CHRISTOPHER J MALONE  
DESIGNED BY : CHRIS MALONE DESIGNS

1/17/2024 3:08:14 PM

CONTRACTOR CONTACT:  
CHRIS MALONE  
DESIGNS LLC

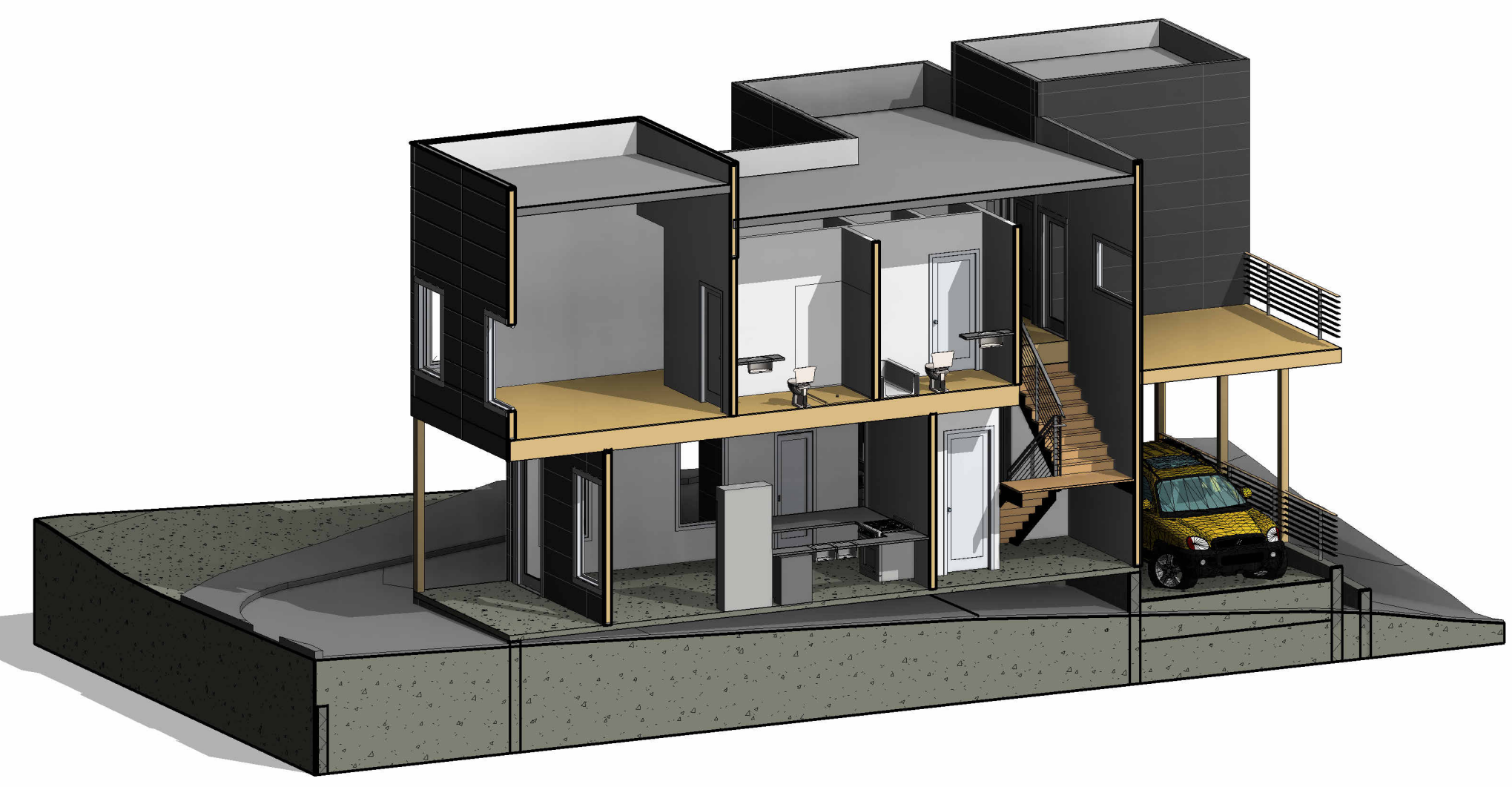
OWNER CONTACT:  
DEREK BIGHAM  
NEW CONSTRUCTION

PLAN NAME  
PROJECT NUMBER : 2021-002  
PROJECT ADDRESS:  
102 5TH AVE DECATUR  
GA 30030

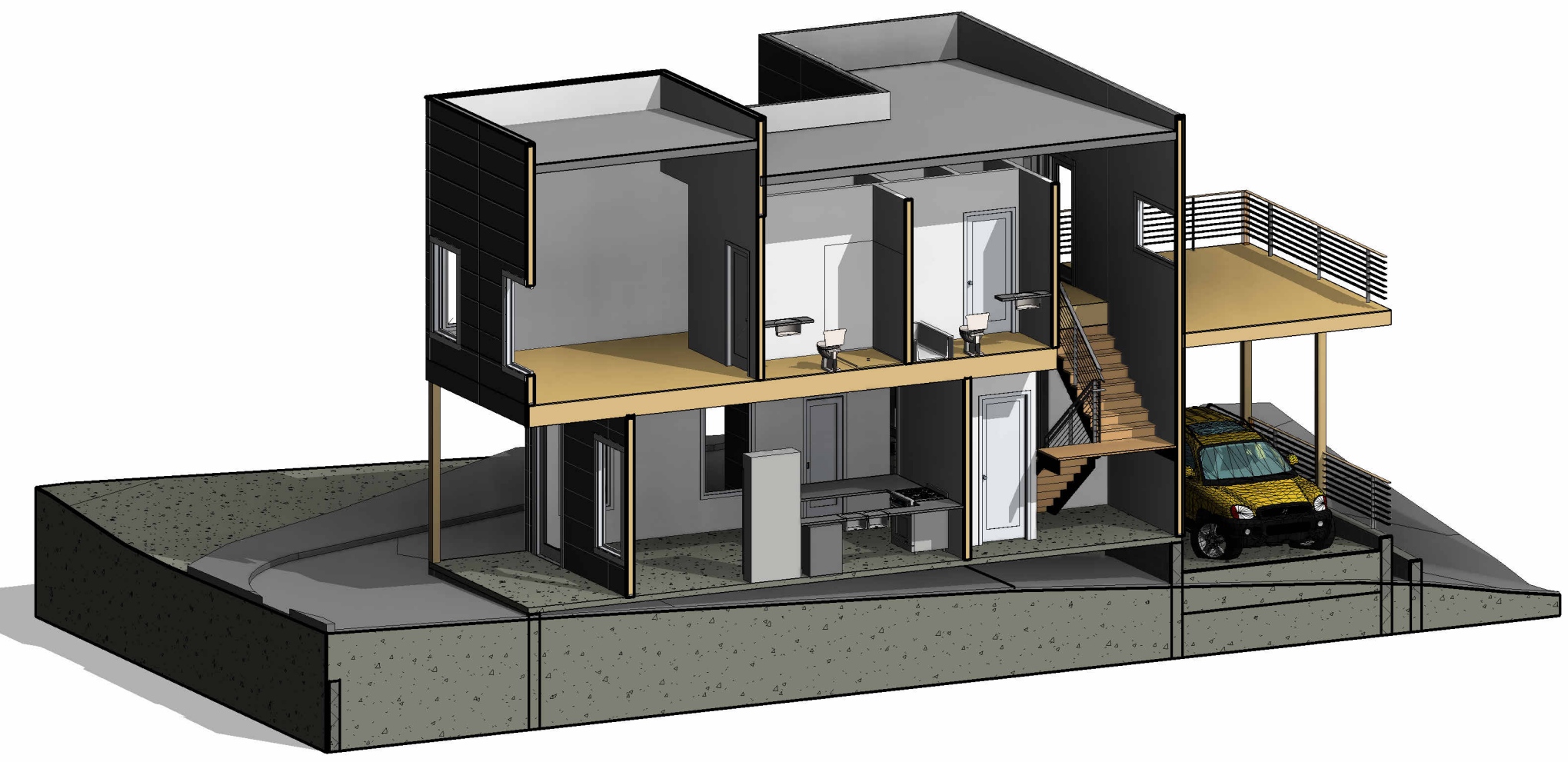


FLOOR PLANS  
**A1.1**  
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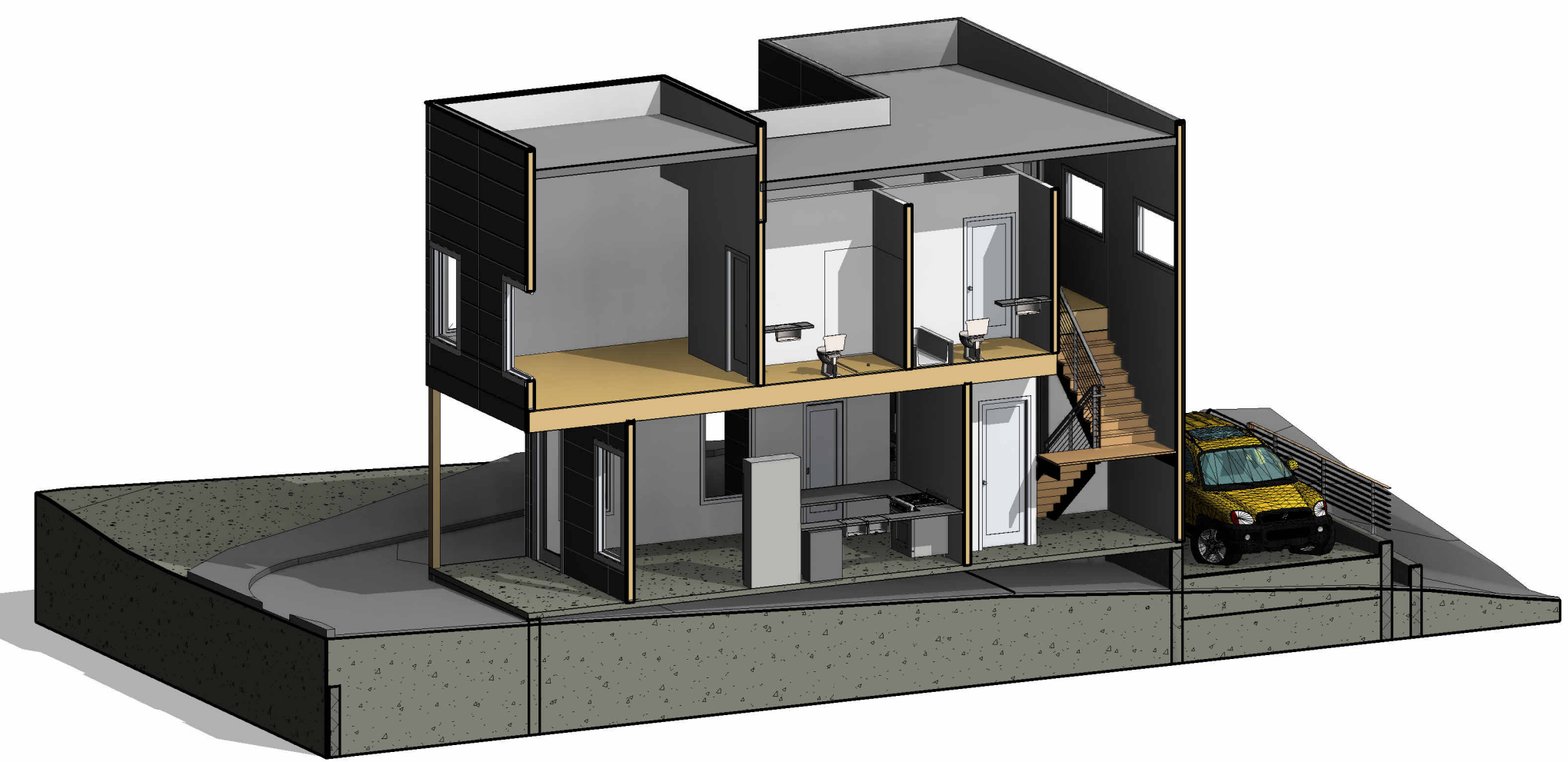
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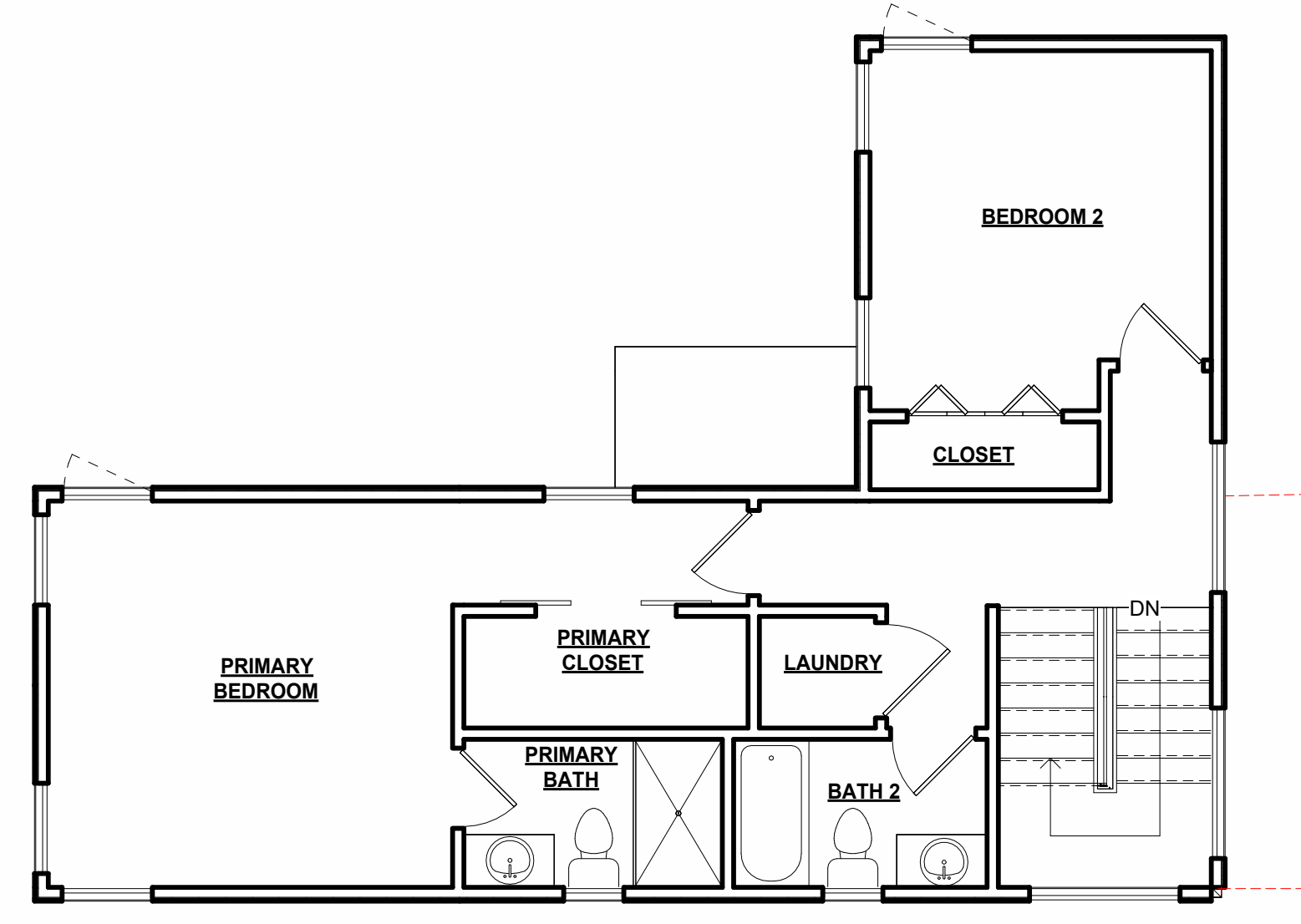
2 THIRD BEDROOM OPTION



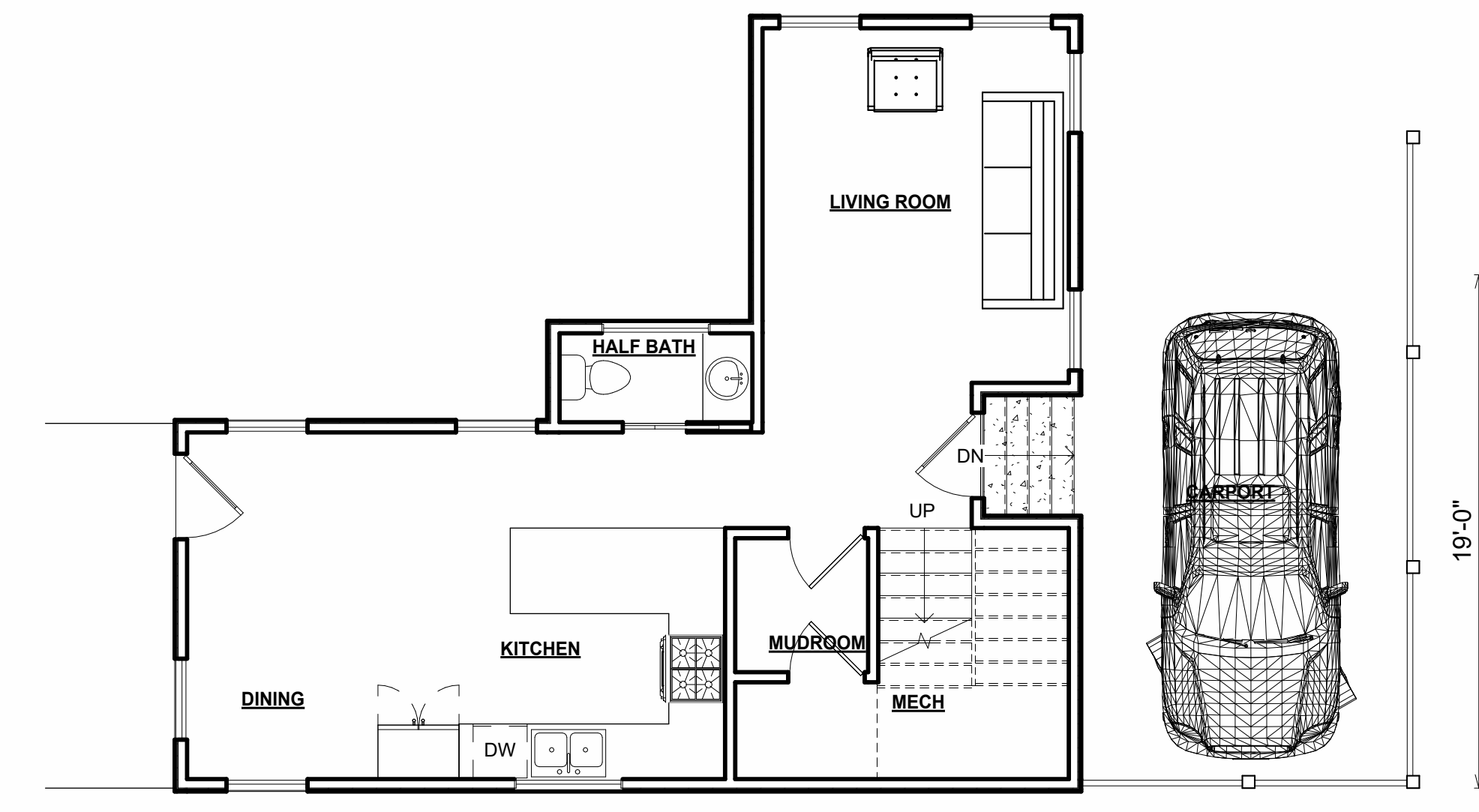
6 DECK ONLY OPTION



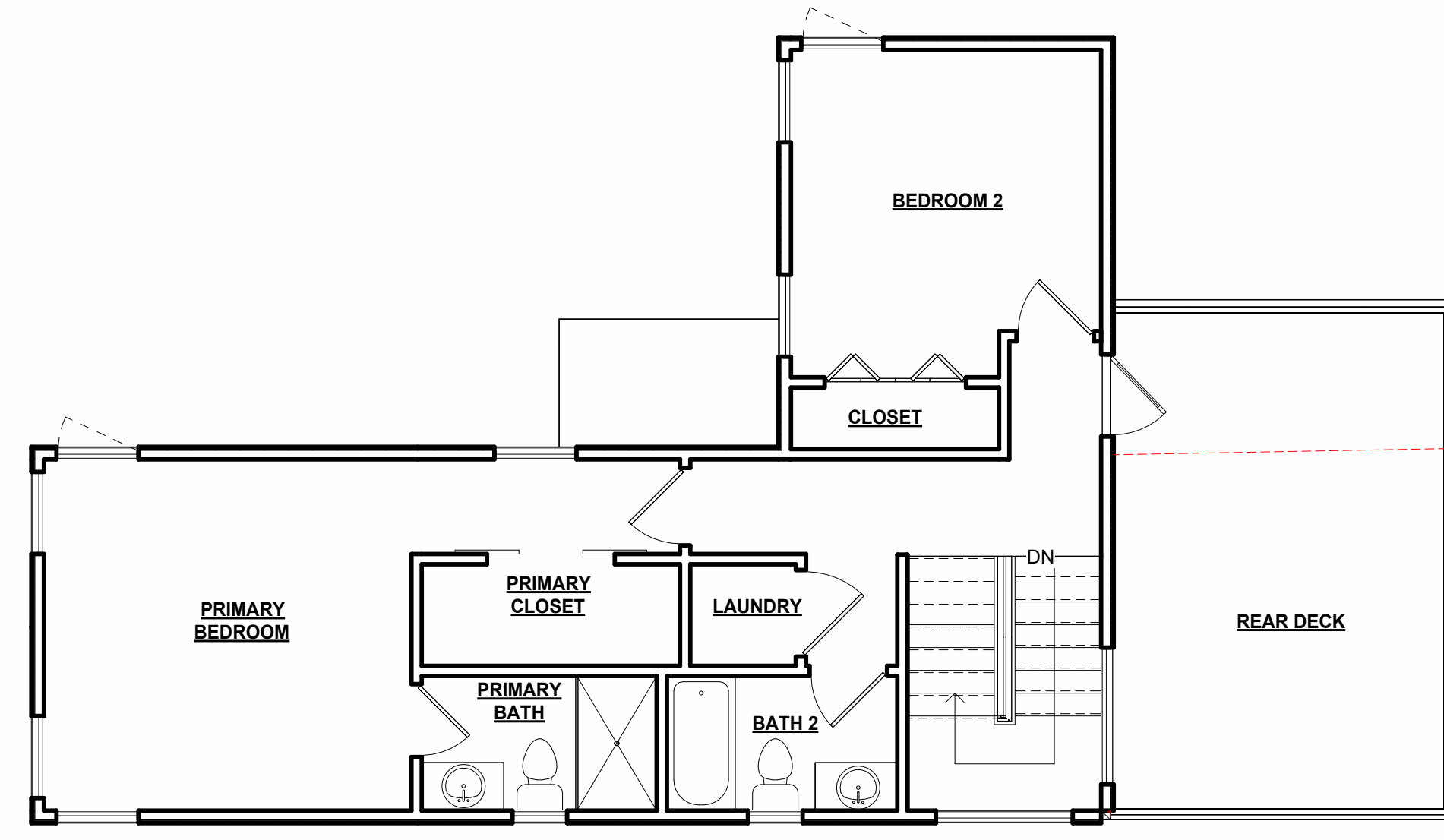
7 PARKING PAD ONLY



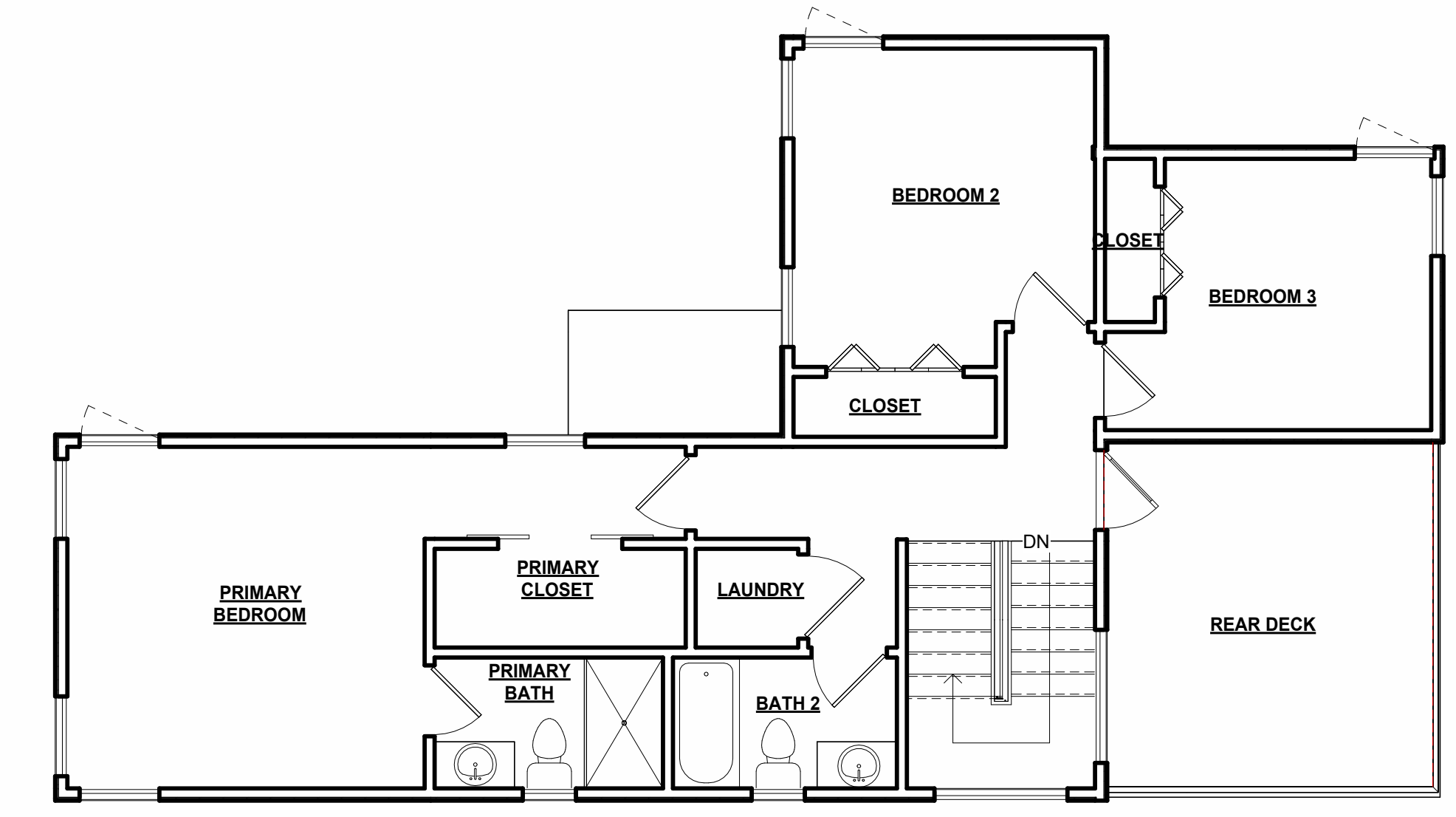
5 SECOND FLOOR ONLY PARKING PAD  
3/16" = 1'-0"



3 MAIN FLOOR  
3/16" = 1'-0"

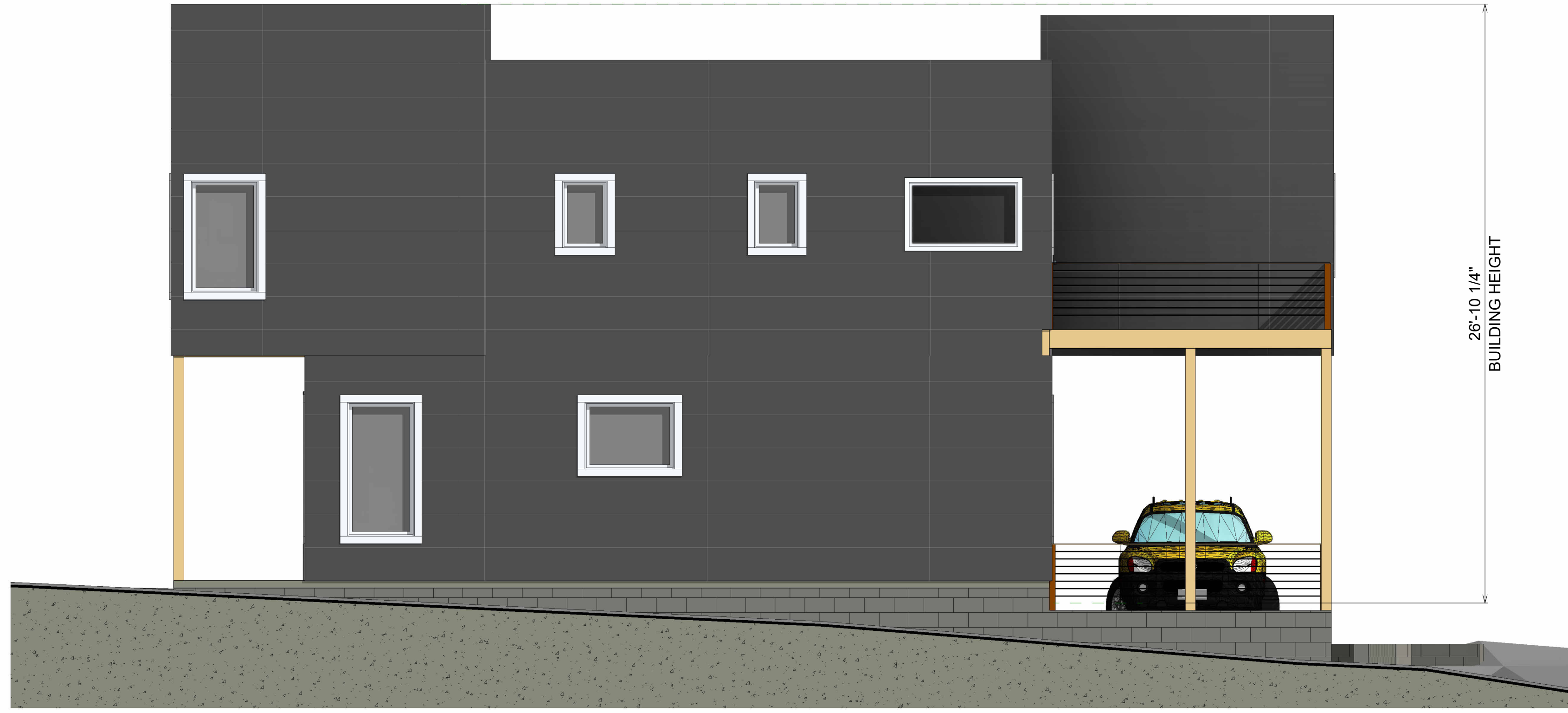


4 SECOND FLOOR NO BEDROOM 3  
3/16" = 1'-0"



1 SECOND FLOOR OPTION 1  
3/16" = 1'-0"

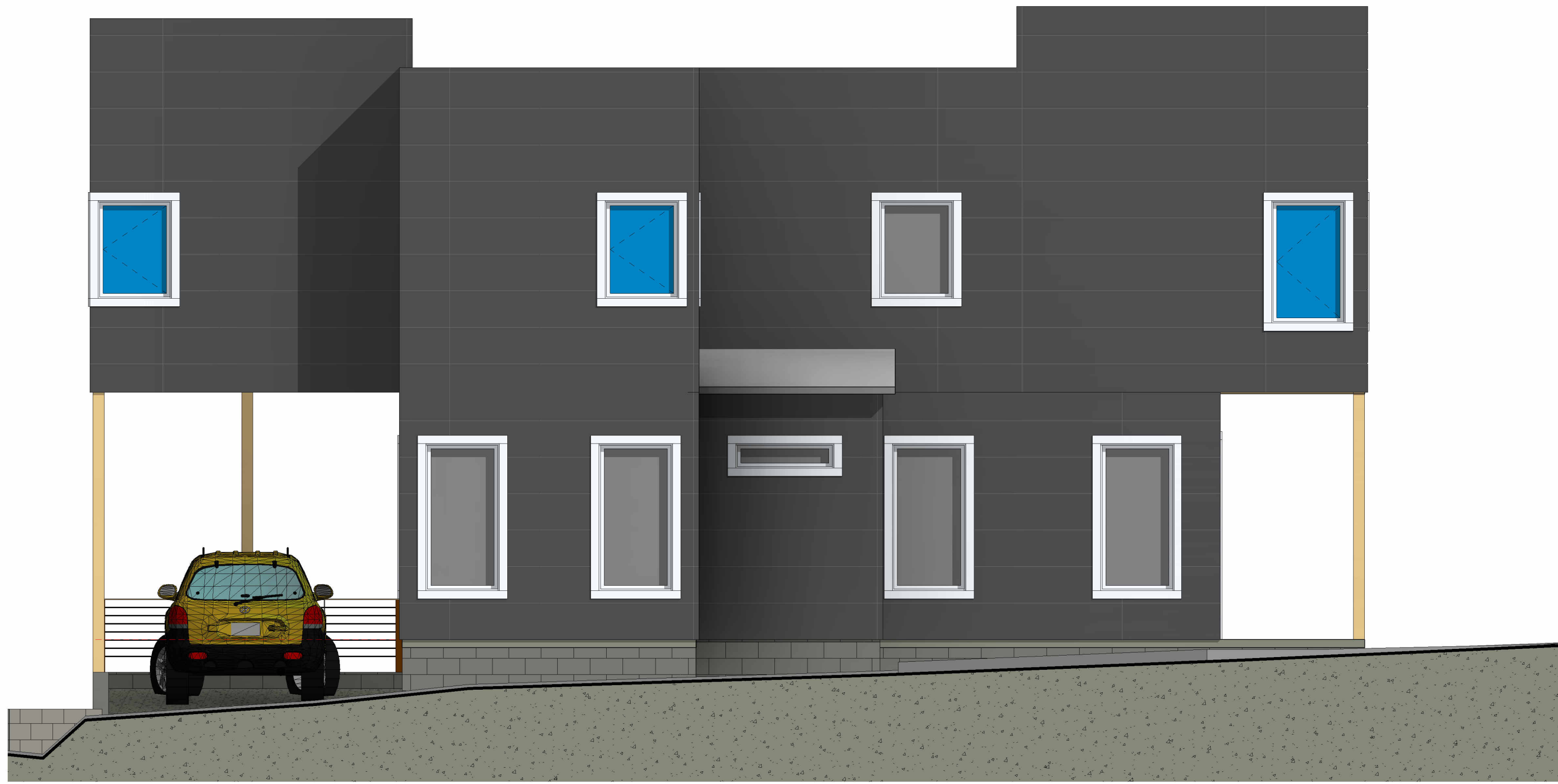




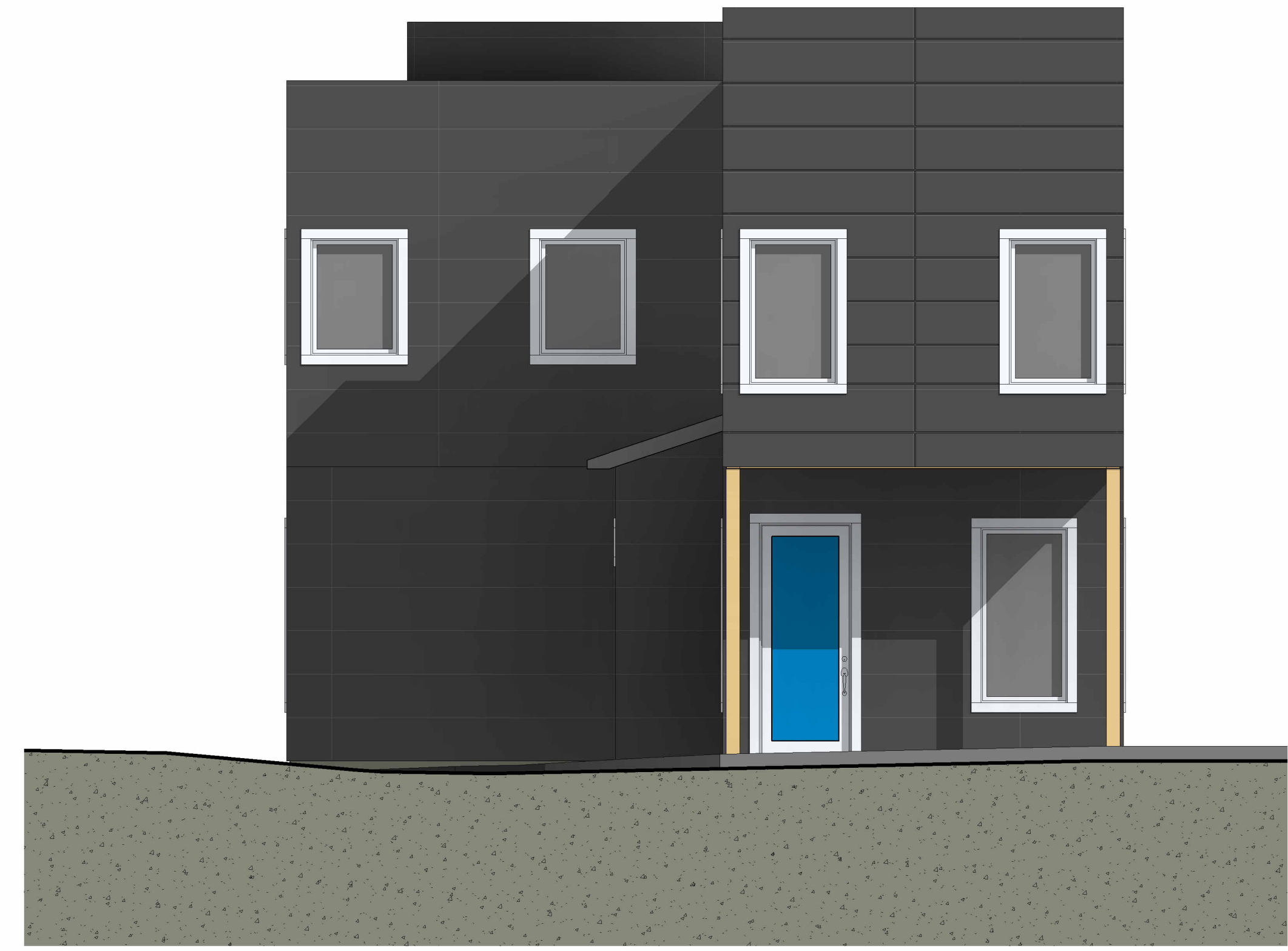
④ RIGHT ELEVATION  
1/4" = 1'-0"



③ REAR ELEVATION  
1/4" = 1'-0"



② LEFT ELEVATION  
1/4" = 1'-0"



① FRONT ELEVATION  
1/4" = 1'-0"

No.	Description	Date

DRAWN BY : CHRISTOPHER J MALONE  
DESIGNED BY : CHRIS MALONE DESIGNS

1/17/2024 3:08:27 PM

CONTRACTOR CONTACT:  
CHRIS MALONE  
DESIGNS LLC

OWNER CONTACT:  
DEREK BIGHAM  
NEW CONSTRUCTION

PLAN NAME  
PROJECT NUMBER : 2021-002  
PROJECT ADDRESS:  
102 5TH AVE DECATUR  
GA 30030



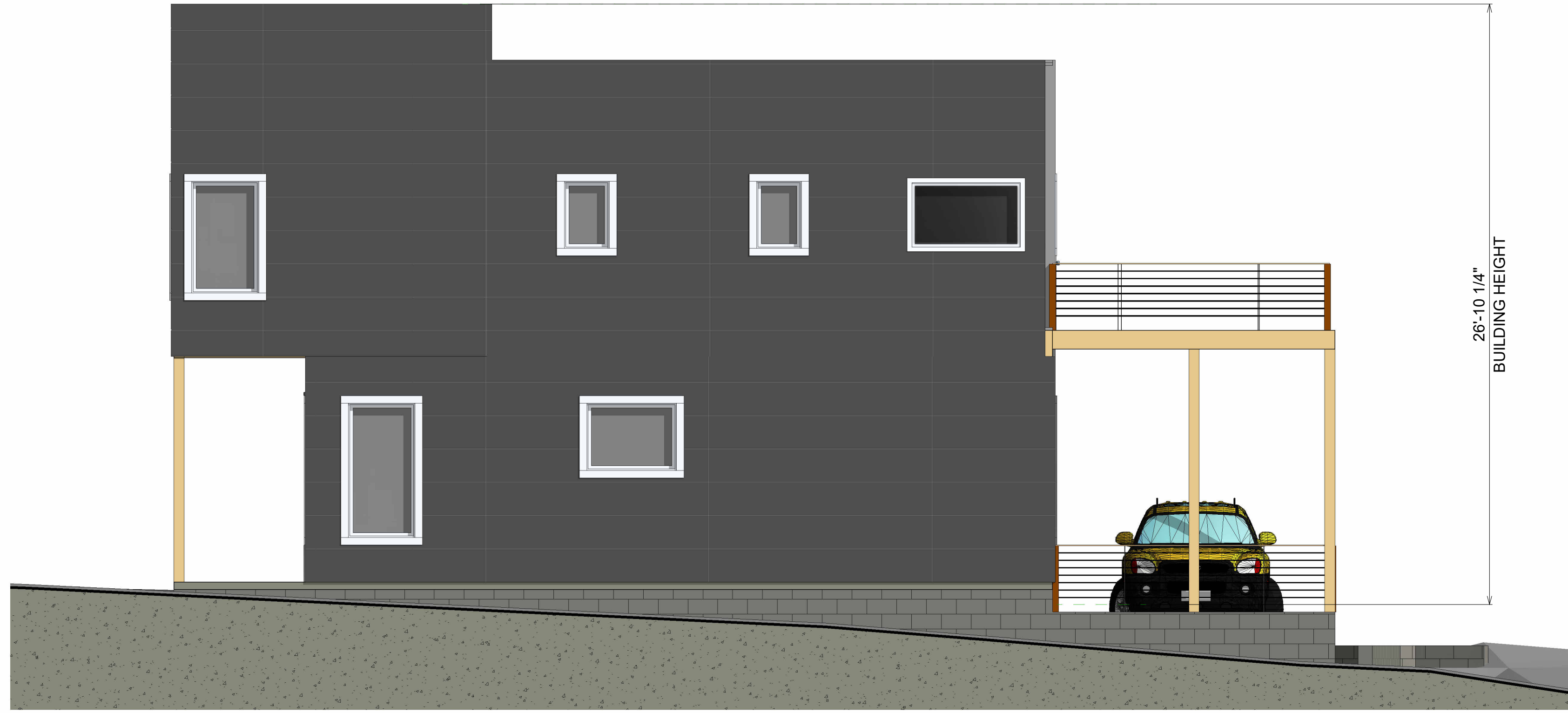
ELEVATIONS -  
W/ 3RD  
BEDROOM  
P1

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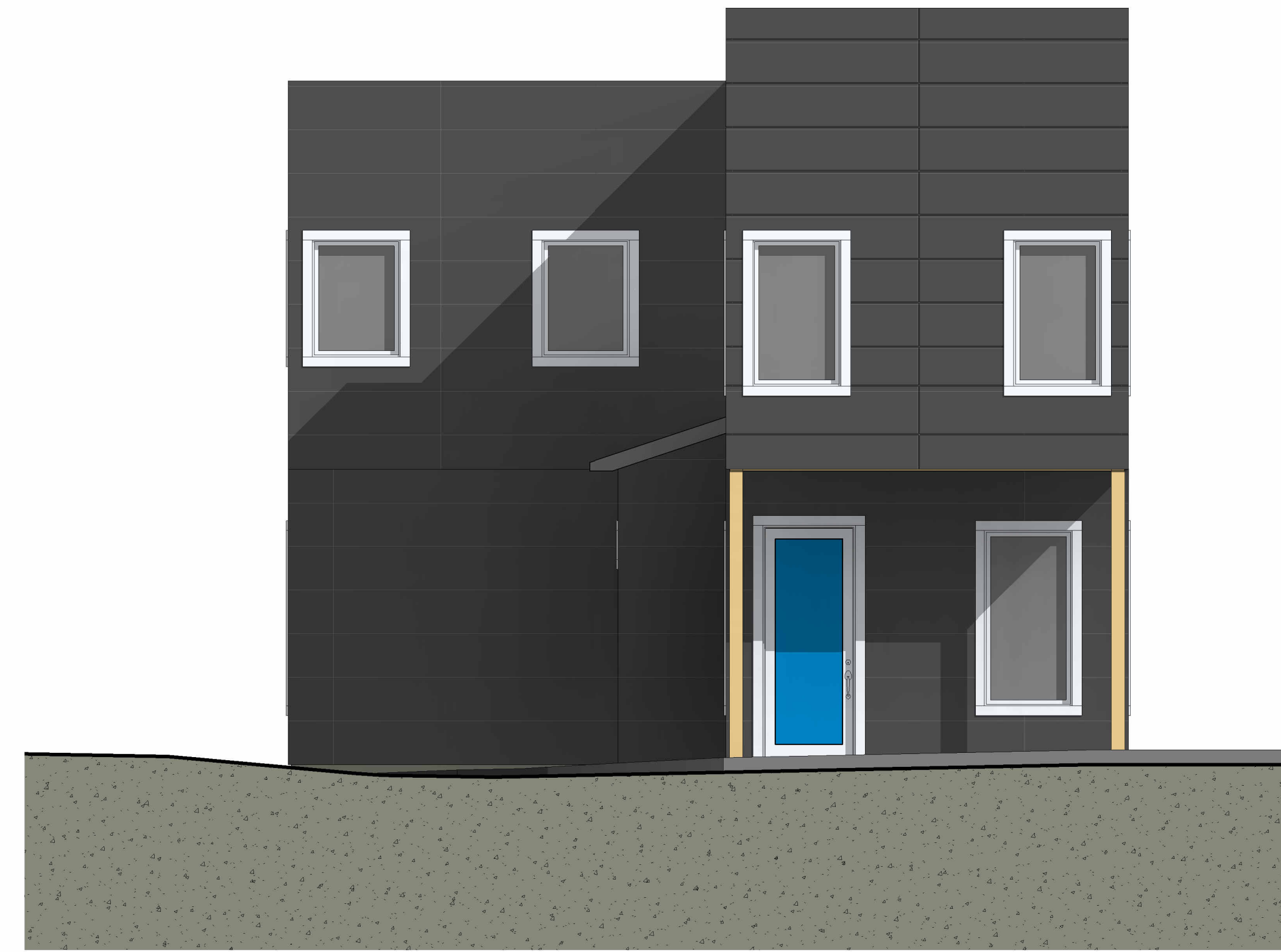
④ RIGHT ELEVATION  
1/4" = 1'-0"



③ REAR ELEVATION  
1/4" = 1'-0"



② LEFT ELEVATION  
1/4" = 1'-0"



① FRONT ELEVATION  
1/4" = 1'-0"

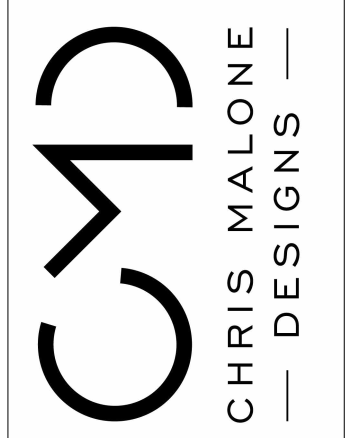
No.	Description	Date

DRAWN BY : CHRISTOPHER J MALONE  
DESIGNED BY : CHRIS MALONE DESIGNS  
1/17/2024 3:08:40 PM

CONTRACTOR CONTACT:  
CHRIS MALONE  
DESIGNS LLC

OWNER CONTACT:  
DEREK BIGHAM  
NEW CONSTRUCTION

PLAN NAME  
PROJECT NUMBER : 2021-002  
PROJECT ADDRESS:  
102 5TH AVE DECATUR  
GA 30030



ELEVATIONS -  
DECK ONLY  
P2  
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AREA SCHEDULE F.A.R				
NAME	AREA	Site Area	F.A.R	Above/Below Grade
<b>HEATED TOTAL</b>				
MAIN FLOOR	581 SF	1809 SF	32%	ABOVE GRADE
SECOND FLOOR	870 SF	1809 SF	48%	
	1451 SF		80%	

No.	Description	Date

DRAWN BY : CHRISTOPHER J MALONE  
DESIGNED BY : CHRIS MALONE DESIGNS

1/17/2024 3:08:54 PM

CONTRACTOR CONTACT:  
CHRIS MALONE  
DESIGNS LLC

OWNER CONTACT:  
DEREK BIGHAM  
NEW CONSTRUCTION

PLAN NAME  
PROJECT NUMBER : 2021-002  
PROJECT ADDRESS:  
102 5TH AVE DECATUR  
GA 30030

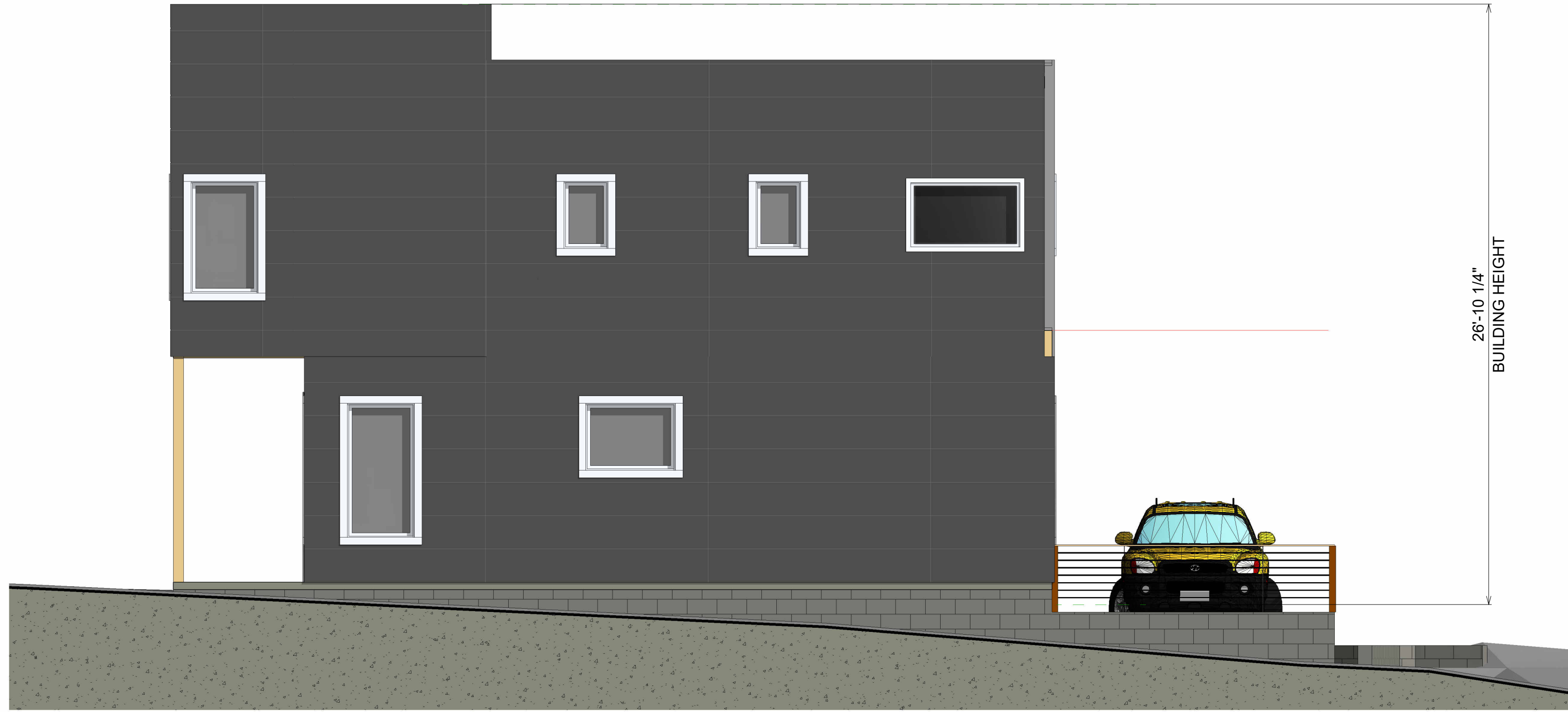
**CMD**  
CHRIS MALONE  
DESIGNS

ELEVATIONS -  
OPEN  
CARPORT  
**P3**

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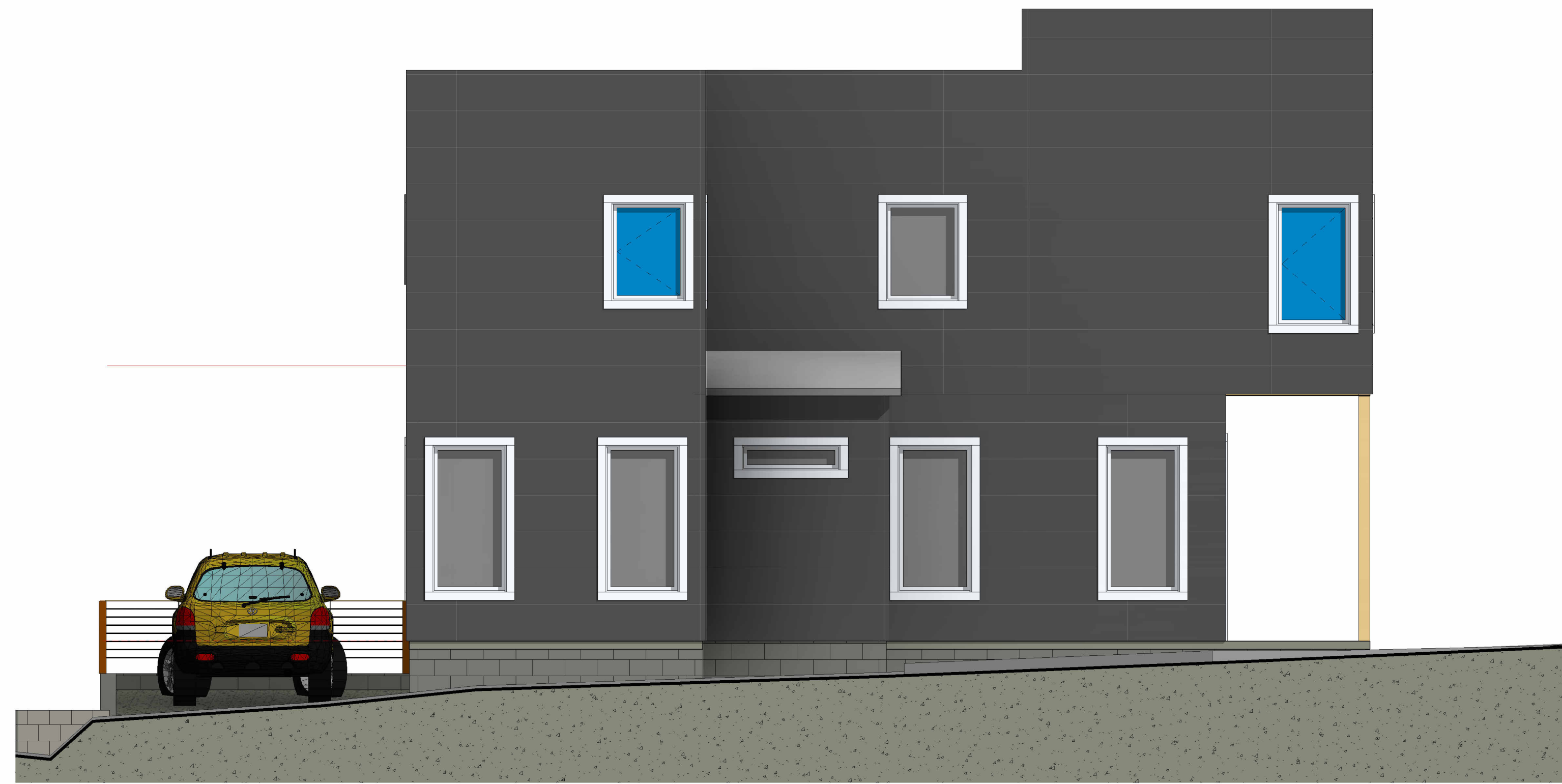
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④ RIGHT ELEVATION  
1/4" = 1'-0"



③ REAR ELEVATION  
1/4" = 1'-0"



② LEFT ELEVATION  
1/4" = 1'-0"



① FRONT ELEVATION  
1/4" = 1'-0"





5 SITE LINE FROM OAKVIEW PARKING PAD



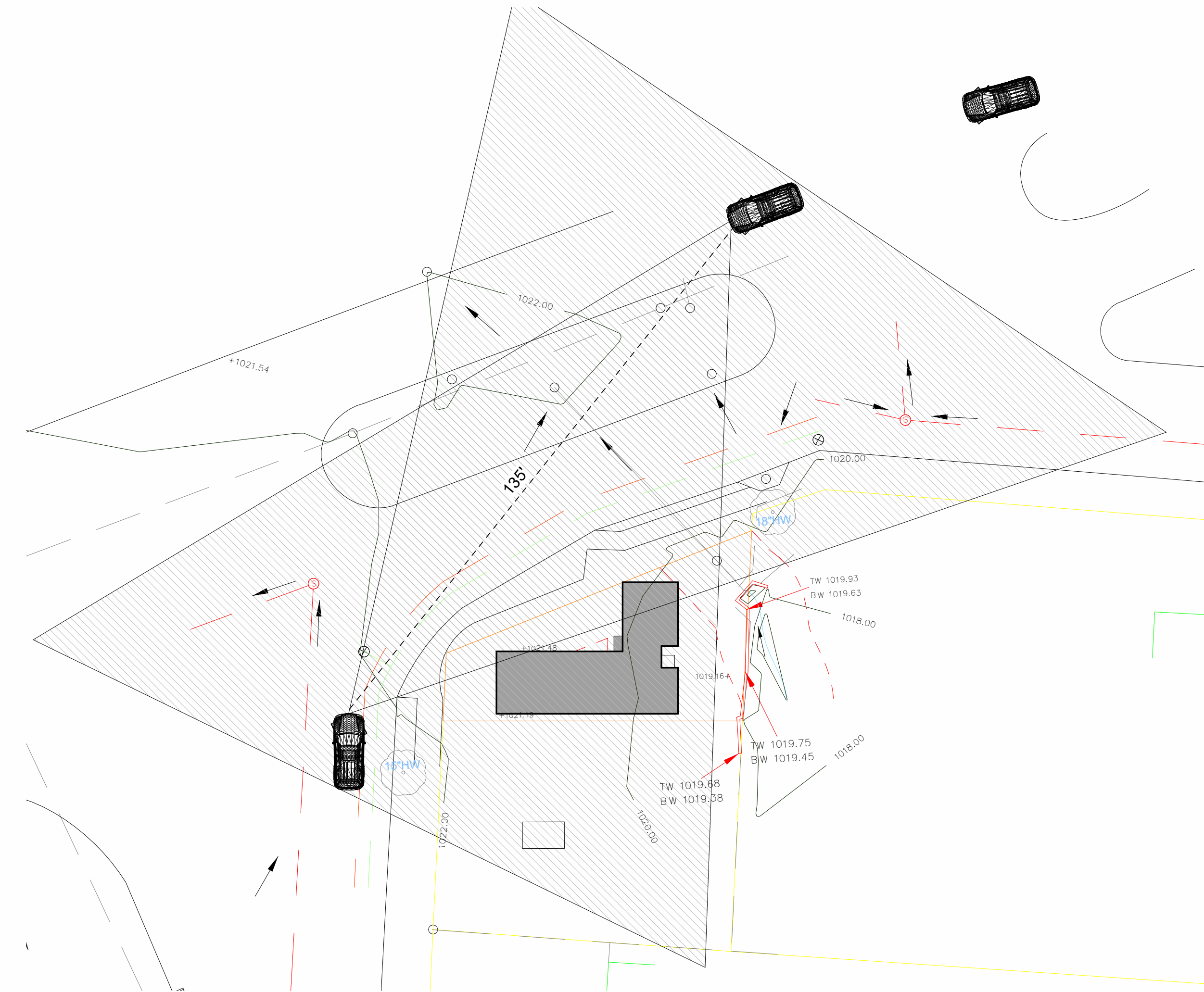
4 SITE LINE FROM OAKVIEW DECK ONLY



2 SITE LINE FROM OAKVIEW



1 SITE LINE FROM 5TH



3 SITE LINES  
1" = 20'-0"

No.	Description	Date

DRAWN BY : CHRISTOPHER J MALONE  
DESIGNED BY : CHRIS MALONE DESIGNS

1/17/2024 3:09:15 PM

CONTRACTOR CONTACT:  
CHRIS MALONE  
DESIGNS LLC

OWNER CONTACT:  
DEREK BIGHAM  
NEW CONSTRUCTION

PLAN NAME  
PROJECT NUMBER : 2021-002  
PROJECT ADDRESS:  
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GA 30030



SITE LINES

P4

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