

VARIANCE APPLICATION

Planning & Zoning

2635 Talley Street
Decatur, GA 30030
Phone 404-377-6198
Fax 404-378-5054



Attach a survey of the property drawn to scale and showing the following information. Please provide one full-size copy of all plans, as well as one copy of all plans in an 8½" x 11" format. It is helpful to show floor plans and elevations of proposed building improvements, as well as a letter of support from adjacent property owners. If the applicant is not the current property owner, provide a notarized authorization for this application from the current property owner. See the stream variance submittal checklist for additional requirements for stream variances.

1. all property lines with dimensions
2. location of buildings and other structures, creeks and easements referenced to property lines
3. north arrow, scale, lot and block numbers and land lot
4. topographic and drainage information if pertinent

Address of property _____ Decatur, GA 30030

Name of applicant _____ Phone _____

Address _____ City/state/ZIP _____

Email _____

Name of property owner _____ Phone _____

Address _____ City/state/ZIP _____

Current zoning of property _____

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Please answer all of the following questions on a separate sheet.

1. What is the variance requested? What code requirement do you wish to vary from?
2. What are the special conditions relating to the specific piece of property in question (narrowness, shallowness, shape, topography, or other extraordinary and exceptional situation)?
3. Explain how the application of the zoning ordinance to this specific piece of property results in peculiar, extraordinary and practical difficulties?
4. Are the circumstances or conditions applying to the building or land in question peculiar to the premises? Do they apply generally to other land or buildings in the vicinity?
5. Explain why the granting of this variance is necessary for the preservation and enjoyment of a property right and does not merely serve as a convenience to the applicant.
6. Did the condition for which the variance is sought result from an action by the applicant?
7. Explain how the variance will affect the supply of light and air to adjacent property, the traffic on public streets, the danger of fire, the public safety and established property values.
8. Explain how the granting of the variance will be in harmony with the general purpose and intent of the Decatur land use plan.
9. Will the granting of the variance allow a structure or use in a district restricted against such structure or use?

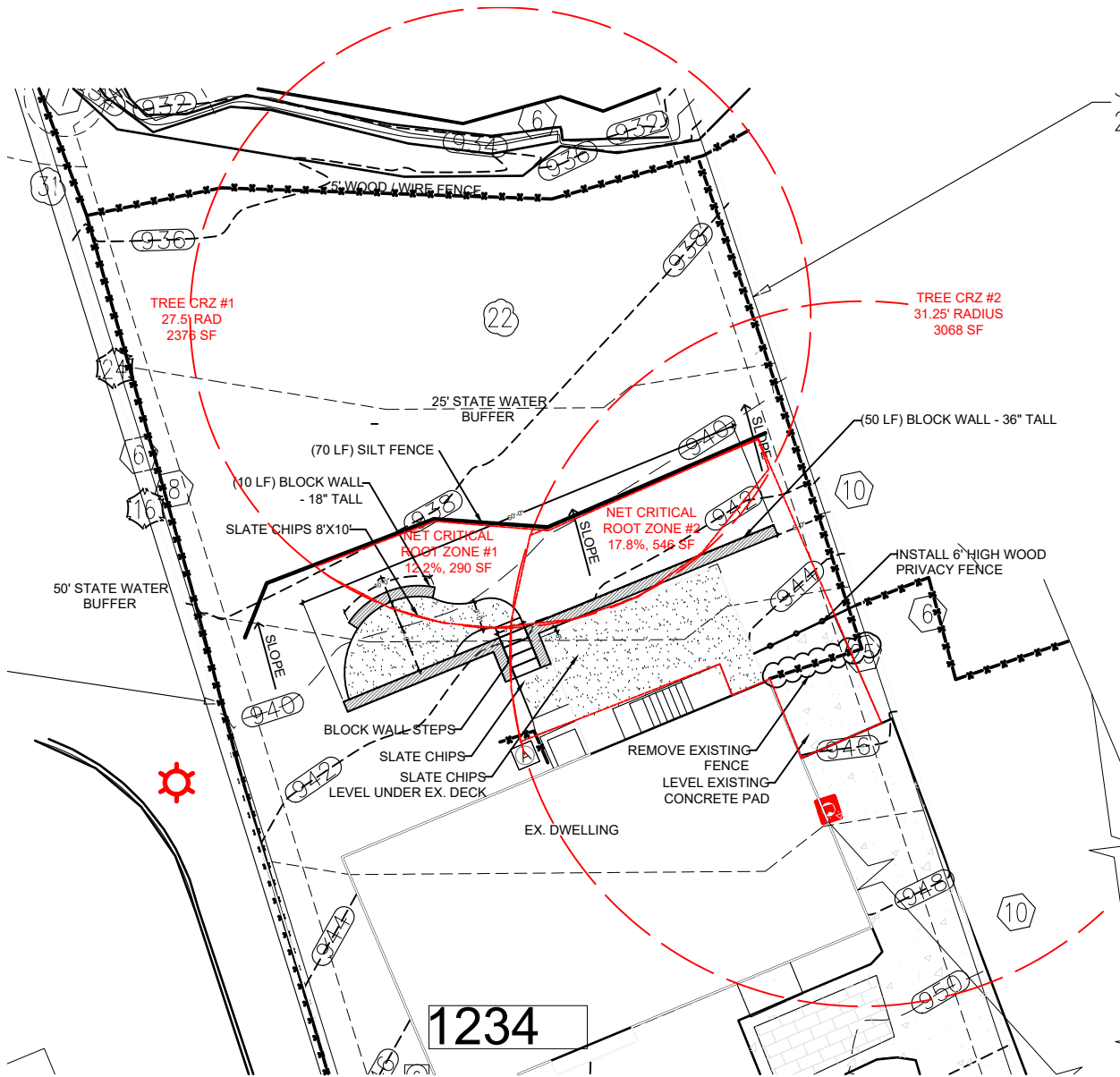
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I hereby certify that the above and attached statements and documents are true to the best of my knowledge and belief.

Applicant signature Chris [Signature]

Date 01/13/2023

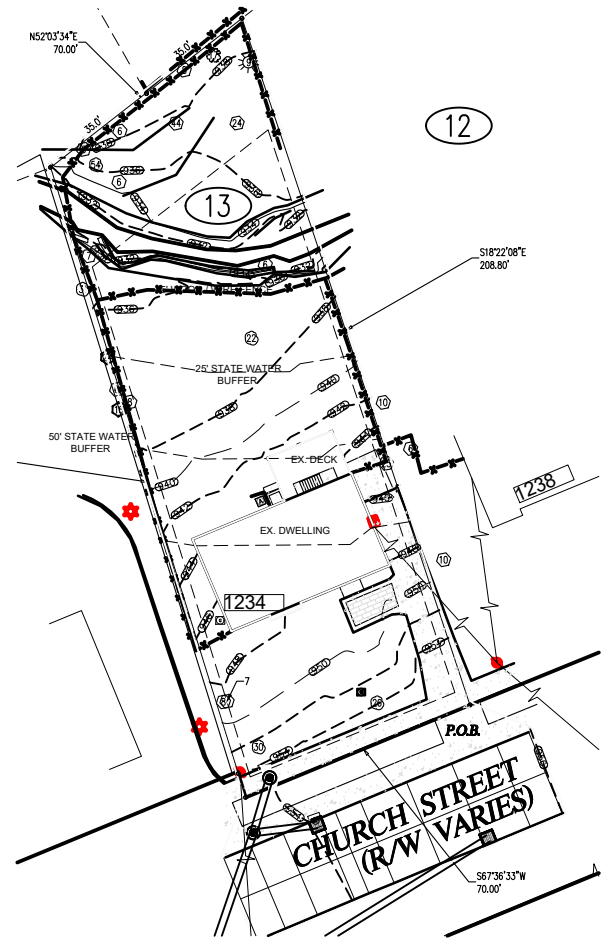
1. **What is the variance requested? What code requirement do you wish to vary from?** Installation of retaining wall with steps adjacent to existing residential home and deck, within 50-75 feet of stream. Code: Part IV, Article 9, Sect 9.2: Stream Buffer Protection.
2. **What are the special conditions relating to the specific piece of property in question (narrowness, shallowness, shape, topography, or other extraordinary and exceptional situation)?** Stream passes through residential property. Topography slopes sharply away from existing structures.
3. **Explain how the application of the zoning ordinance to this specific piece of property results in peculiar, extraordinary, and practical difficulties?** Location of stream in relation to existing home/deck structure. Any improvement or maintenance is within the stream buffer by default.
4. **Are the circumstances or conditions applying to the building or land in question peculiar to the premises? Do they apply generally to other land or buildings in the vicinity?** No, not all properties have the stream going through the property lines, in a proximity to the existing structure, and with the same sloping topography.
5. **Explain why the granting of this variance is necessary for the preservation and enjoyment of a property right and does not merely serve as a convenience to the applicant.** Backyard is not safely usable as persons slip while walking near the hill. Soil is washing away from house and deck over time, could lead to structural issues with foundations.
6. **Did the condition for which the variance is sought result from an action by the applicant?**
No
7. **Explain how the variance will affect the supply of light and air to adjacent property, the traffic on public streets, the danger of fire, the public safety and established property values.** No impact on the public. May increase property value due to more usable backyard.
8. **Explain how the granting of the variance will be in harmony with the general purpose and intent of the Decatur land use plan.** This project has no significant impact on the city land use plan. It is a maintenance project to stabilize a slope while improving the usability and enjoyment of a private residence.
9. **Will the granting of the variance allow a structure or use in a district restricted against such structure or use?** No



1
LDG-1

PLAN: PROPOSED LANDSCAPE PLAN

3/32"=1'-0"



2
LDG-1

PLAN: EXISTING SURVEY PLAN

1/32"=1'-0"

SITE ADDRESS:
1234 CHURCH ST DECATUR, GA 30030

LANDSCAPEDESIGNGUY.COM

SCALE: 3/32" = 1'-0"

1 OF 2 PERMIT PLAN 7/19/2023