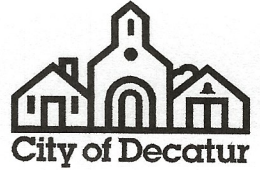


# VARIANCE APPLICATION

## Planning & Zoning

2635 Talley Street  
Decatur, GA 30030  
Phone 404-377-6198  
Fax 404-378-5054



Attach a survey of the property drawn to scale and showing the following information. Please provide one full-size copy of all plans, as well as one copy of all plans in an 8½" x 11" format. It is helpful to show floor plans and elevations of proposed building improvements, as well as a letter of support from adjacent property owners. If the applicant is not the current property owner, provide a notarized authorization for this application from the current property owner. See the stream variance submittal checklist for additional requirements for stream variances.

1. all property lines with dimensions
2. location of buildings and other structures, creeks and easements referenced to property lines
3. north arrow, scale, lot and block numbers and land lot
4. topographic and drainage information if pertinent

Address of property 202 garden lane decatur Decatur, GA 30030  
Name of applicant L&M Construction and remodeling Phone 404-936-3725  
Address 202 garden lane decatur City/state/ZIP decatur ga 30030  
Email l\_mconstruction and remodeling  
Name of property owner Kathryn brookmeyer/Jason Cherno Phone 404-936-3725  
Address 202 garden lane decatur City/state/ZIP decatur ga 30030  
Current zoning of property r-150

.....  
Please answer all of the following questions on a separate sheet.

1. What is the variance requested? What code requirement do you wish to vary from?
2. What are the special conditions relating to the specific piece of property in question (narrowness, shallowness, shape, topography, or other extraordinary and exceptional situation)?
3. Explain how the application of the zoning ordinance to this specific piece of property results in peculiar, extraordinary and practical difficulties?
4. Are the circumstances or conditions applying to the building or land in question peculiar to the premises? Do they apply generally to other land or buildings in the vicinity?
5. Explain why the granting of this variance is necessary for the preservation and enjoyment of a property right and does not merely serve as a convenience to the applicant.
6. Did the condition for which the variance is sought result from an action by the applicant?
7. Explain how the variance will affect the supply of light and air to adjacent property, the traffic on public streets, the danger of fire, the public safety and established property values.
8. Explain how the granting of the variance will be in harmony with the general purpose and intent of the Decatur land use plan.
9. Will the granting of the variance allow a structure or use in a district restricted against such structure or use?

.....  
I hereby certify that the above and attached statements and documents are true to the best of my knowledge and belief.

Applicant signature

Date

10/26/2023

# **L&M Construction and Remodeling**

**404-936-3725**

**[L Mconstruction@hotmail.com](mailto:L_Mconstruction@hotmail.com)**

The following are the details of the variance we are requesting at the property of Kathryn Brookmeyer and Mr. Jason Chernock 202 Garden Lane, Decatur GA 30030.

- 1) The Variance code we wish to vary from is the encroachment on a creek buffer.
- 2) The property in question is close to a wetland buffer of a creek.
- 3) The property currently has a deck in disrepair. The request is to replace the existing deck in the existing footprint with one of the exact size of the existing deck. The new deck will have a screen porch cover. The current deck is in the buffer zone of the creek.
- 4) The conditions are specific to this property due to its location in the wetland.
- 5) The variance is needed to maintain the safety of the residence and bring the existing structure up to the current code.
- 6) The variance sought is not the result of any negligence of the homeowner due to the fact the current structure existed at the purchase of said property.
- 7) There will be no impact on any light or air of adjacent properties due to the fact the structure needing replacement already has existed for several years. Therefore, its replacement will have no impact on the public streets, fire danger or public safety on any established properties in the area.
- 8) Since the deck already exists, but is not up to the current code, a variance would have positive impact for the homeowner and surrounding homes.
- 9) To my knowledge there are no restrictions on the use of a deck in this district.

FLOOD NOTE

THIS PROPERTY IS LOCATED IN A FEDERAL FLOOD AREA AS INDICATED BY F.I.R.M. OFFICIAL FLOOD HAZARD MAPS...

REFERENCE MATERIAL

- 1. WARRANTY DEED IN FAVOR OF KATHRYN A. BROOKMEYER AND JASON E. CHERNOCK...

LEGEND

- Denotes Building Line, Property Line, Right-of-Way, Centerline, Back of Curb, Etcetera, Fence, Power Pole, Light Pole, Power Line, Power Meter, Air Condition, Gas Meter, Water Meter, Water Valve, Fire Hydrant, Junction Box, Sanitary Sewer Line, Sanitary Sewer Manhole.

THIS PROPERTY SUBJECT TO THE FOLLOWING

- 1. CURRENT ZONING R-60 PER CITY OF DECATUR, GEORGIA. MINIMUM LOT AREA= 9,000 SQ. FT. MINIMUM LOT WIDTH= 60 FEET...

SURVEY NOTES

- 1. STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER... 2. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD...

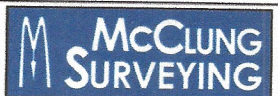


SURVEYOR'S CERTIFICATE

This plot is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries.



Michael R. Niles Georgia RLS No. 2646 5-8-23

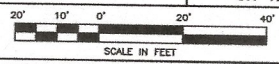


McClung Surveying Services, Inc. 4833 South Cobb Drive Suite 200 Smyrna, Georgia 30080 (770) 434-3383

SURVEY FOR KATE BROOKMEYER JASON CHERNOCK

202 GARDEN LANE DECATUR, GEORGIA TOTAL AREA= 0.282± ACRES OR 12,286± SQ. FT.

PART OF LOTS 50, 51 AND 52 BLOCK "C" CLAIMMONT ESTATES



LAND LOT 5 18TH DISTRICT DEKALB COUNTY, GEORGIA PLAT PREPARED: 5-8-23 FIELD: 5-5-23 SCALE: 1"=20' JOB#261291

**APPLICABLE BUILDING CODES**

Current Codes as Adopted by DCA - Mandatory Codes:

- International Building Code, 2018 Edition, with Georgia Amendments (2020, 2022)
- International Residential Code, 2018 Edition, with Georgia Amendments (2020)
- International Fire Code, 2018 Edition
- International Plumbing Code, 2018 Edition, with Georgia Amendments (2020, 2022)
- International Mechanical Code, 2018 Edition, with Georgia Amendments (2020)
- International Fuel Gas Code, 2018 Edition, with Georgia Amendments (2020, 2022)
- National Electrical Code, 2020 Edition, with Georgia Amendments (2021)
- International Energy Conservation Code, 2015 Edition, with Georgia Supplements and Amendments (2020, 2022)
- 2018 NFPA 101: LSC

**Foundation, Slab and Footing Notes**

Review all notes, details and drawings prior to commencement of construction.

- Material**
  - 1.1. Reinforcing: 60 KSI ASTM 615.
  - 1.2. Concrete: 3,000 PSI, 28 day strength.
  - 1.3. Grout: 3,000 PSI, 28 day strength.
  - 1.4. Anchor Bolts: A 36.
  - 1.5. Epoxy: Sikadur 32 for vertical holes, Sikadur 31 for horizontal holes.
  - 1.6. Allow concrete to cure for a minimum of 14 days before loads are placed.
- Soil**
  - 2.1. Minimum safe bearing capacity: 2,000 psf
  - 2.2. Geotechnical engineer is to verify soil bearing capacity.
- Slabs and Landings**
  - 3.1. Minimum slab thickness is 4 inches.
  - 3.2. Place W/WF 6x12 in middle of the slab. Lap W/WF a minimum of 6 inches at edges.
  - 3.3. All exterior and interior footings are to have a minimum of (2) #4 3' clear from soil.
  - 3.4. Place 5 mil vapor plastic vapor barrier under the slab. Lap edges of vapor barrier 6 inches. Vapor barrier is to be located under all interior and exterior footings.
  - 3.5. Place a minimum of 4" #57 stone under slab.
  - 3.6. Place crack control joints a maximum of 15 feet each direction. Joints are to be a minimum of 1/4" the slab thickness. Saw the joints within 24 hours of placement of concrete.
  - 3.7. Fill the CCJ with a plastic filler suitable for joints.
  - 3.8. Place a construction joint a maximum of 100 feet in each direction. Place the concrete on each side of the construction joint a minimum of 24 hours apart.
- Footings**
  - 4.1. All debris is to be removed along with wet or soft soils prior to placement of concrete.
  - 4.2. Remove rock until footing is level.
- Reinforcing**
  - 5.1. All reinforcing shall be supported by chairs.
  - 5.2. Reinforcing is to have the following clearances.
    - 5.2.1. exposed soil (footings): 2"
    - 5.2.2. exposed soil (slabs): 2"
    - 5.2.3. finished surfaces: 2"
  - 5.3. Lap all reinforcing a minimum of 18 inches.
  - 5.4. Dowels are to be a minimum of 48 inches above the footing or Class 'B' splice whichever is greater.
  - 5.5. Lap all bars a minimum of 30 inches or use Class 'B' splices, whichever is greater.
    - 5.5.1. Use the following for Class 'B' splices: #4-30", #5-36", #6-44", #7-64", #8-72", #9-82".
  - 5.6. Install corner bars at all corners and offsets at the horizontal reinforcing. Each corner bar is to have a 36 inch long leg or Class 'B' splice, whichever is greater.

**Deck and Porch Notes**

Review all notes, plans and details prior to construction.

1. All material Pressure Treated No. 2 SYP unless noted otherwise.
2. All beams are to be pressure treated material when exposed to weather.
3. All nailing is to conform to applicable codes.
4. Pressure Treated lumber that is cut in the field is to have a preservative coating placed on the cut.
5. Only ground contact rated lumber is to be in contact with earth, water or stone.
6. Joist hangers are to be used for joist to beam connections unless specified otherwise. Bonds or ledges are not allowed.
7. All metal connectors are Simpson Strong Tie or equal.
8. Joist hangers are to be used for joist to beam connections unless specified otherwise. Bonds or ledges are not allowed.
9. Manufacturer's installation instructions are to be followed for all connectors and wood products.
10. Galvanized bolts and nails are to be used when they are exposed to weather.
11. For connections against pressure treated lumber use Simpson ZDG/HDG connectors and fasteners galvanized per ASTM A153. All connectors such as nails, screws are to be coated to resist corrosion from pressure treated lumber.
12. Posts are to have metal base plates and column caps. Beams and bands may be bolted to the posts with a minimum of two 1/2" galvanized bolts.
13. Manufacturer's installation instructions are to be followed for all connectors and wood products.
14. Galvanized bolts and nails are to be used when they are exposed to weather.
15. Guardrails and handrails for decks shall comply with the local applicable codes.
16. A code compliant handrail is to be installed on all porch and deck stairs.
17. All deck construction is to comply with applicable codes or State of Georgia Prescriptive Deck Detail whichever is the most stringent.
18. Install metal flashing between the exterior of the house and the deck band.
19. All deck bands are to be bolted a minimum of 12 inches on center with 1/2 inch diameter bolts. The bolts are to attach to the house structure with solid blocking, a minimum of 4" thick. The blocking is to be attached to the structure with a minimum of four 16d CC nails at each end. A washer is to be used at the head of the bolt and between the wood and nut.
20. A minimum of two joists are to be located under each wall that is parallel with the joists or for the outside bands.
21. A post shall be installed under all point loads and beams. The posts shall be a minimum of one stud for each ply of the beam or equal to the width of the beam.
22. Diagonal bracing is to be used in each direction on the bottom of the floor joists. The brace is to be a PT 2x6 No. 2 SYP nailed at each joist. The bracing will form an "X" on the bottom of the joists.
23. Deck footings are to be a minimum of 12" below grade and 4" above grade. The footings are to rest on residual soil or tested compacted soil.
24. 3,000 psi concrete is to be used for the footings.
25. Stair stringers are to have joist hangers at the bands.

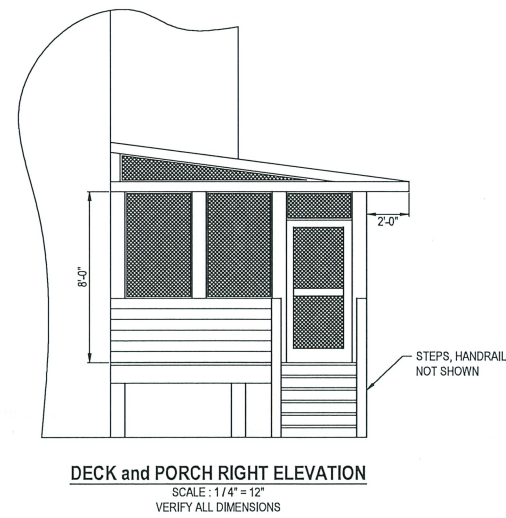
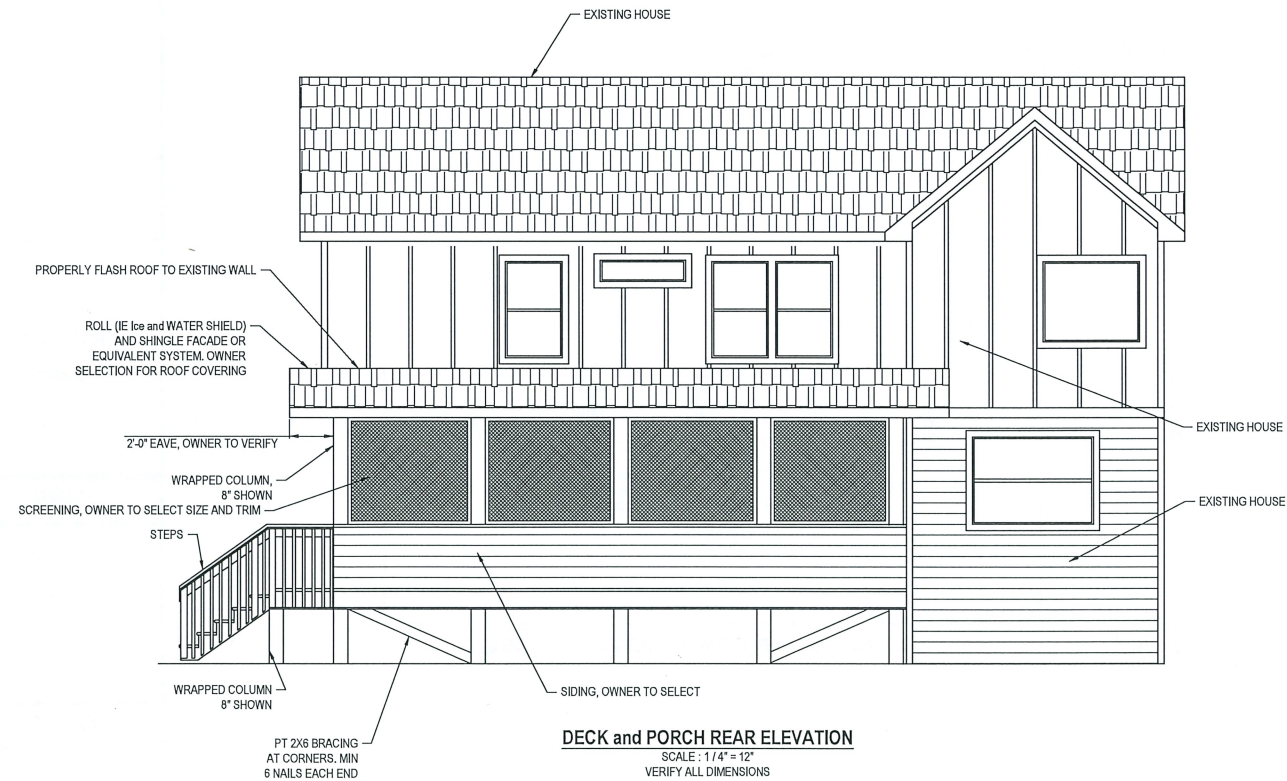
**Design Loads**

Item	Dead Load (psf)	Live Load (psf)	Snow Load (psf)		
Deck Floor	10	40			
Ceiling / Roof	20	20			
Wind Speed	115 MPH V ult	Group I	Wind Importance Factor 1	Wind Exposure: B	
Seismic Use Group I	SDS 0.4	SDI 0.18	Site Class: D	Seismic Category B	
Analysis Procedure	Base Shear: 1617.5				
Snow Load 5 psf	Ce: 1.1	Importance Factor 1	Pf 6.3 psf		

**General Notes**

Review all notes and drawings prior to commencement of construction.

1. All construction shall be in a workmanship like manner and conform both to the listed codes and industry standards.
2. If conditions differ from what is shown on the drawings, contact the engineer before proceeding with work.
3. Do not scale drawings. If a written dimension is not on the drawings contact the engineer or architect.
4. It is the contractor's responsibility to review all drawings and documents prior to the commencement of work or purchase of materials and components.
5. Requests for information (RFI) must be made in writing. Allow 48 hours for a written response.
6. Requests for inspections must be made in writing. Schedule all inspections a minimum of 48 hours before the inspection is needed.
7. The following inspections by Construction Consulting Services, Inc. are required. Failure to have these inspections performed relieves Construction Consulting Services of any responsibility for the construction.
  - 7.1. Footings.
  - 7.2. Decks
  - 7.3. Building Final
8. Failure to follow the requirements of the drawings and specifications relieves Construction Consulting Services, Inc., its employees and the Professional Engineer of any responsibility for design, construction and performance.
9. Construction Consulting Services, Inc. or its employees is not responsible for geotechnical conditions, drainage, hydrological conditions, other engineers or designers scope, contractors adherence to the design drawings or construction quality.
10. Read all notes and review all plans, details, etc. prior to construction.
11. The interpretation made by the Contractor of these drawings is not the responsibility or liability of Construction Consulting Services, Inc.
12. The contractor is to adhere to all applicable life safety, manufacturer's specifications and instructions, building codes and other industry standards. Safety of the job site is the sole responsibility of the contractor.
13. Failure to follow the building codes relieves Construction Consulting Services, Inc. of construction responsibility.



**CCSi**  
an engineering company

**Construction Consulting Services, Inc.**

16206 Henderson Road  
Milton, GA 30004  
404.731.1666  
jccsi@att.net

WE warrant a professional review of drawings and specifications for the purpose of detecting errors and omissions. We do not warrant the accuracy of the information provided by others. We are not responsible for the construction of the project or the safety of the project. We are not responsible for the construction of the project or the safety of the project.

CONSTRUCTION CONSULTING SERVICES, INC. ASSURES QUALITY SERVICE TO OUR CLIENTS AND PROVIDES THE FOLLOWING INFORMATION TO OUR CLIENTS:

1. ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL ENGINEER'S LICENSE AND THE REQUIREMENTS OF THE PROFESSIONAL ENGINEER'S LICENSE.
2. ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL ENGINEER'S LICENSE AND THE REQUIREMENTS OF THE PROFESSIONAL ENGINEER'S LICENSE.
3. WE DO NOT WARRANT THE PROJECTS NOT PERMITTED.

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31May2023

**Brookmeyer Residence**

202 Garden Lane  
Decatur GA 30030

Notes and Elevations

**Issued**

01 RELEASED FOR CLIENT APPROVAL, PERMITTING AND CONSTRUCTION  
31May2023

Sheet

**01**

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**Brookmeyer Residence**

**202 Garden Lane  
Decatur GA 30030**

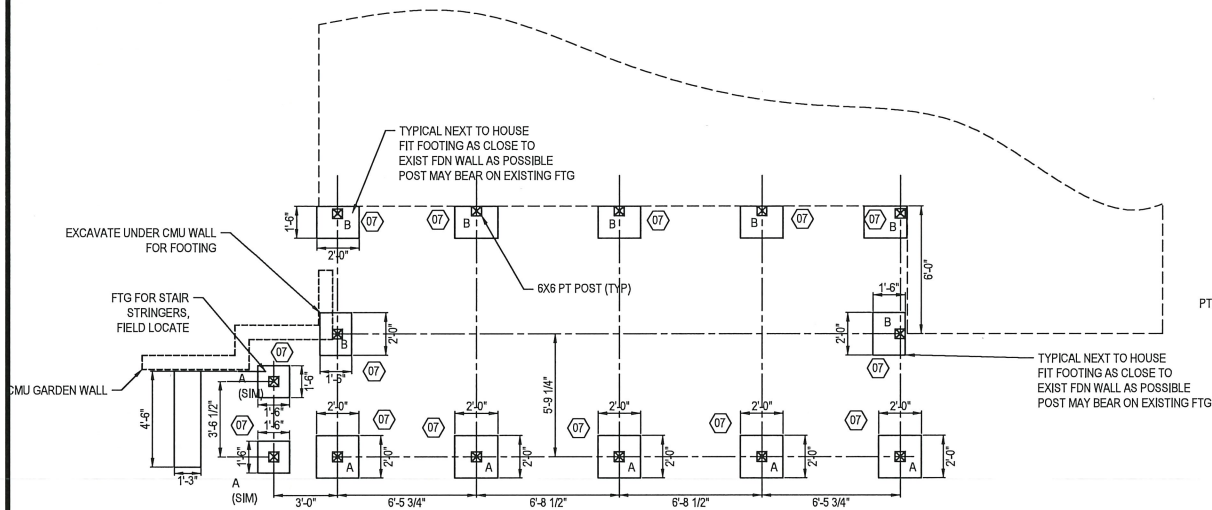
**Plans and Details**

**Issued**

01 RELEASED FOR CLIENT APPROVAL PERMITTING AND CONSTRUCTION  
31May2023

**Sheet**

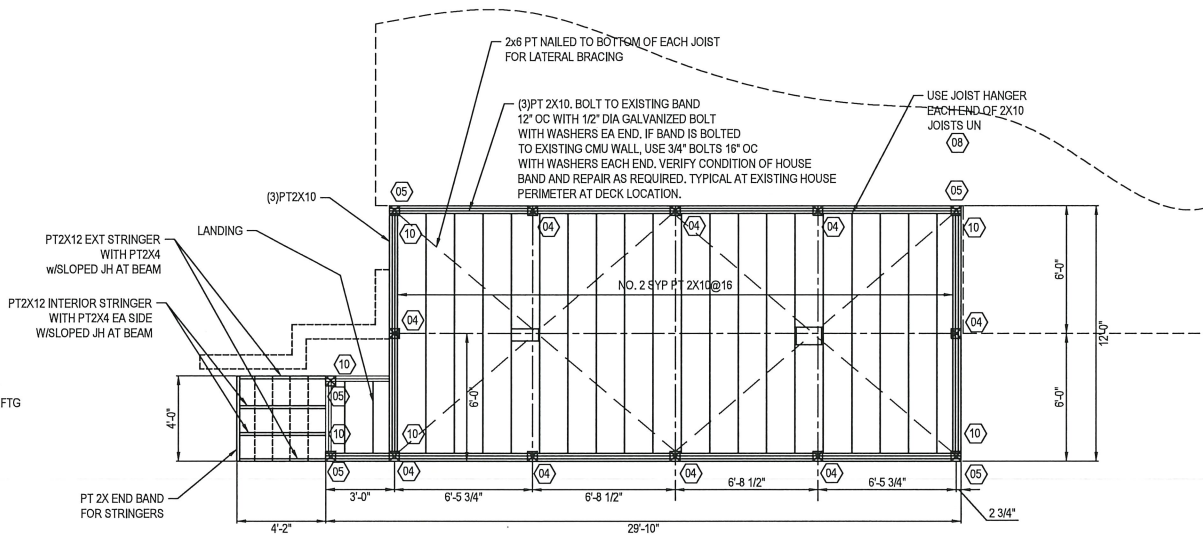
**02**



**FOOTING PLAN**  
SCALE: 1/4" = 12"  
VERIFY ALL DIMENSIONS

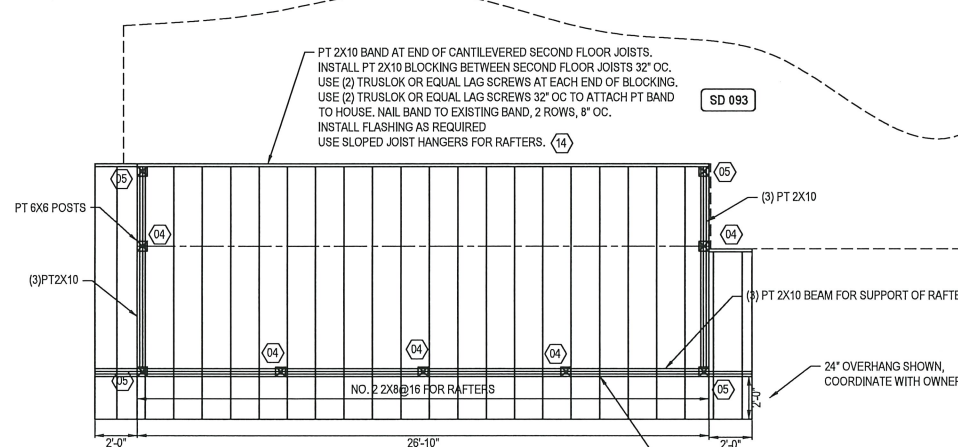
WOOD CONNECTOR TABLE		
NUMBER	HANGER	REMARK
01	ECCQ46SDS2.5	COLUMN END CAP
02	CCQ46SDS2.5	COLUMN CAP
03		
04	AC6	COLUMN CAP
05	ACE6	COLUMN END CAP
06	H2.5	RAFTER TO BEAM
07	ABA66	BASE CAP
08	LU210	JOIST HANGER
09	LU210-2	DBL JH
10	LUC210-3	CONCEALED JH
11	LUC201-2	CONCEALED JH
12	MSTA18	COLUMN ANCHOR
13	LSSU210	SLOPED JH
14	LSSU28	SLOPED JH
15	LCB66	COLUMN BASE

ALL HANGERS ARE SIMPSON STRONG TIE UNLESS NOTED. EQUAL HANGER TYPE CAN BE SUBSTITUTED. ALL HANGERS TO BE COATED FOR PT CONTACT. USE SCREWS PER MANUFACTURERS INSTALLATION INSTRUCTIONS. FABRICATED CONNECTORS CAN BE SUBSTITUTED FOR COLUMN ANCHORS AND BASE CAPS.

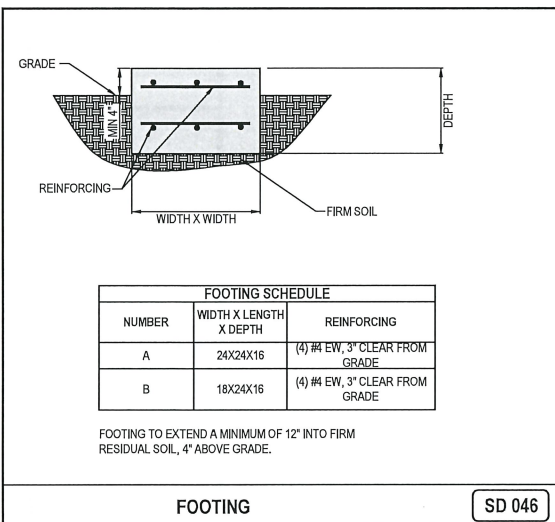


**DECK and PORCH FRAMING PLAN**  
SCALE: 1/4" = 12"  
VERIFY ALL DIMENSIONS

NOTE: BRITTLE FLOOR COVERING SUCH AS STONE, TILE, ETC. CANNOT BE USED FOR DECKING. STRUCTURE IS DESIGNED FOR WOOD OR TREX (OR EQUAL) DECKING.

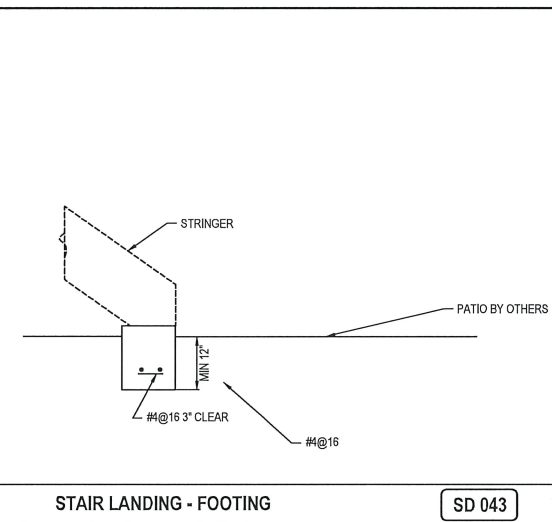


**PORCH ROOF FRAMING PLAN**  
SCALE: 1/4" = 12"  
VERIFY ALL DIMENSIONS



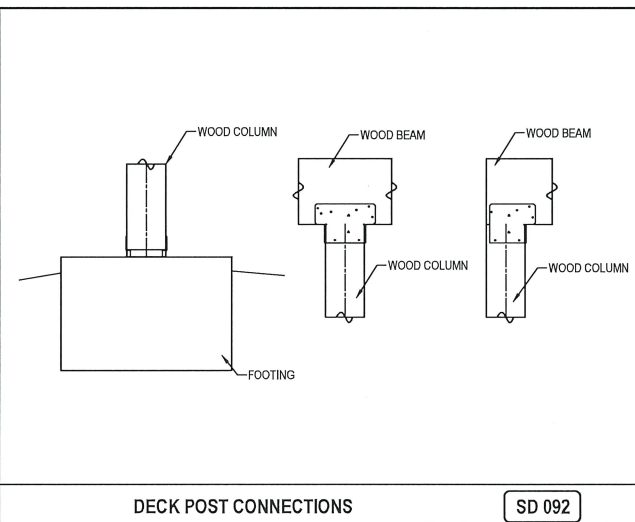
**FOOTING**

**SD 046**



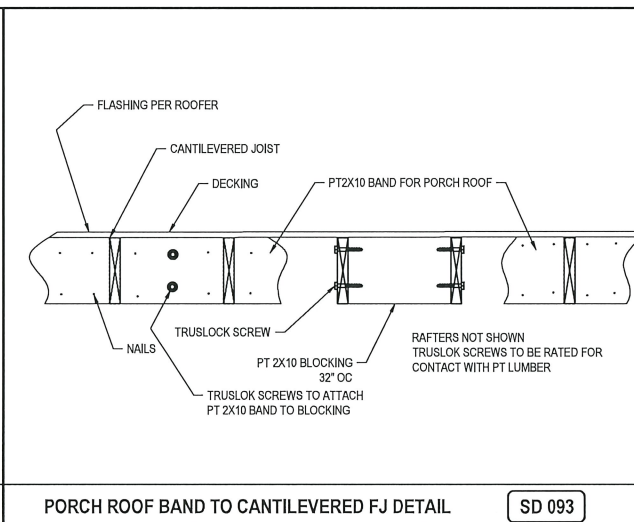
**STAIR LANDING - FOOTING**

**SD 043**



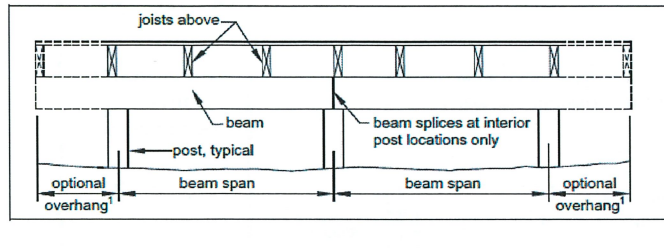
**DECK POST CONNECTIONS**

**SD 092**



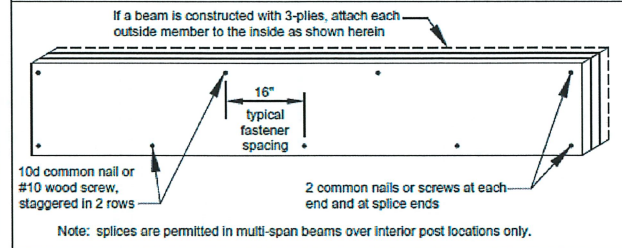
**PORCH ROOF BAND TO CANTILEVERED FJ DETAIL**

**SD 093**



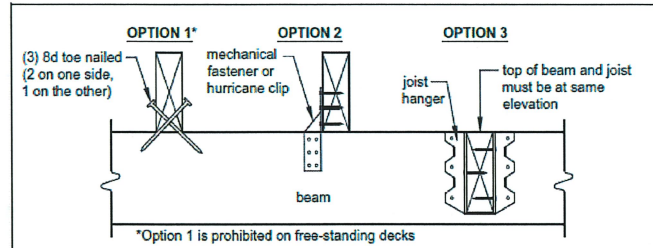
TYPICAL DECK SECTION

DD 001



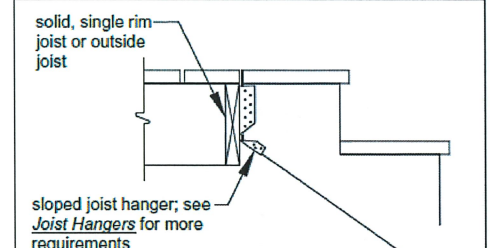
DECK BEAM

DD 002



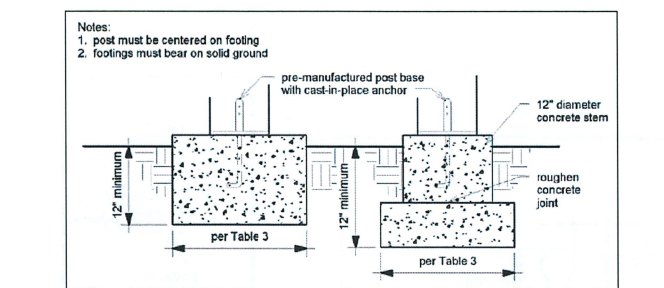
JOIST TO BEAM CONNECTION

DD 003



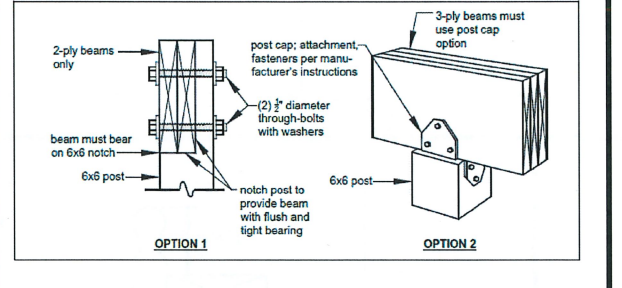
STAIR STRINGER TO BEAM CONNECTION

DD 004



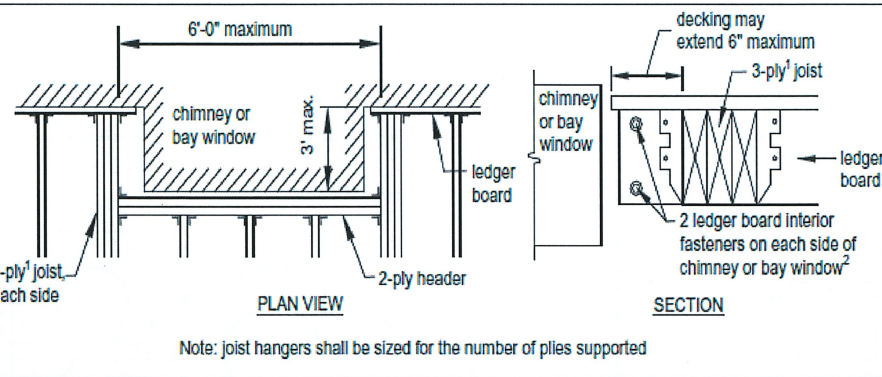
FOOTINGS

DD 005



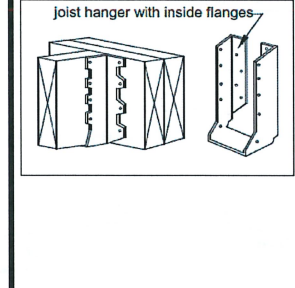
POST TO BEAM CONNECTION

DD 006



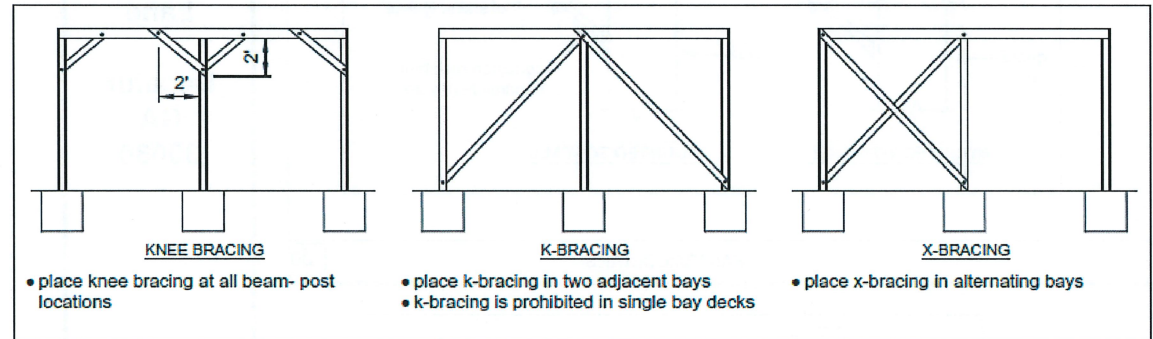
DECK DETAIL AT CANTILEVER

DD 007



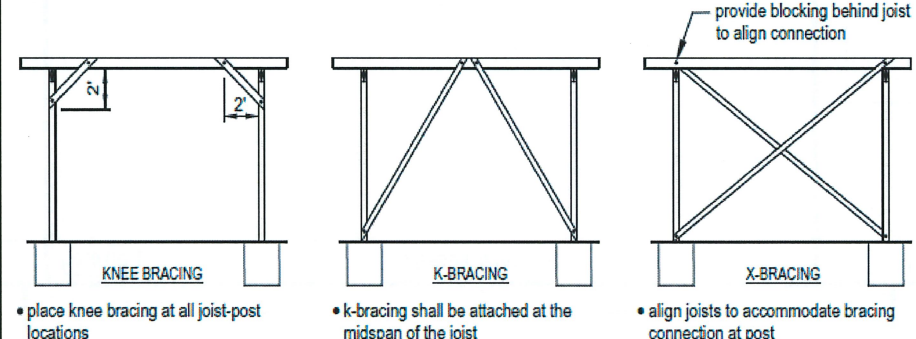
JOIST HANGER DETAIL

DD 008



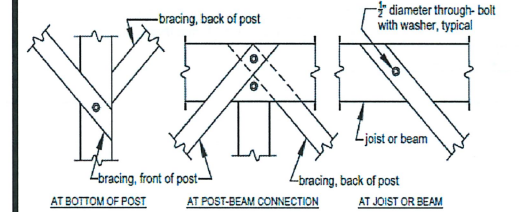
DECK BRACING

DD 009



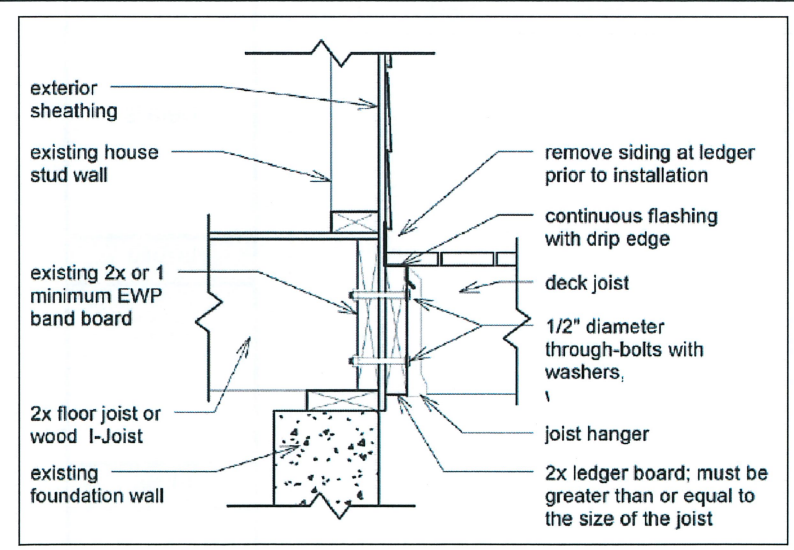
DECK BRACING

DD 010



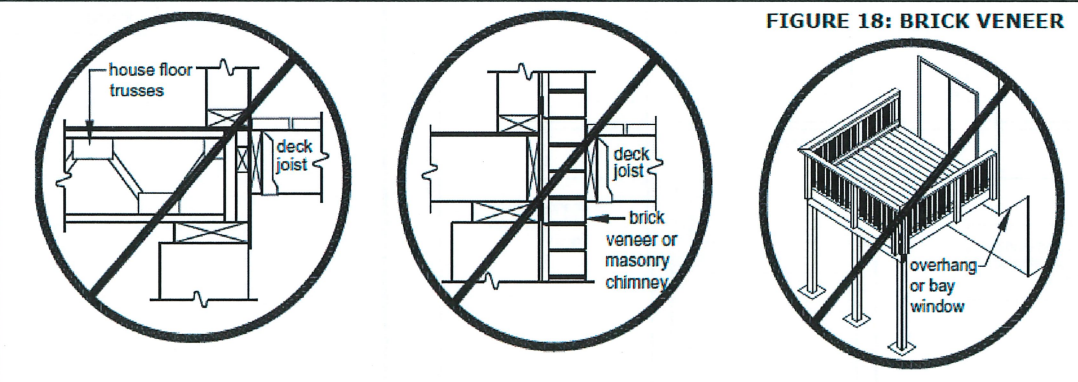
DECK BRACING DETAILS

DD 011



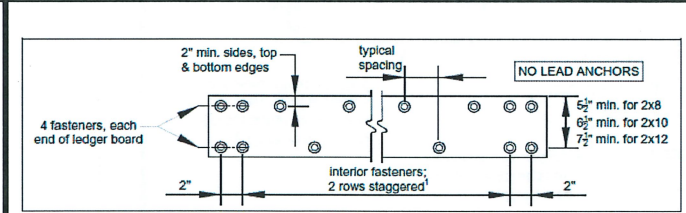
CONNECTION OF DECK BAND TO BUILDING BAND

DD 012



PROHIBITED CONNECTIONS

DD 013



CONNECTIONS (BOLTING) TO BUILDING

DD 014

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31May2023

**Brookmeyer Residence**  
**202 Garden Lane**  
**Decatur GA 30030**

Details

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Sheet

**03**

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31 May 2023

**Brookmeyer Residence**

202 Garden Lane  
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Decatur GA 30030

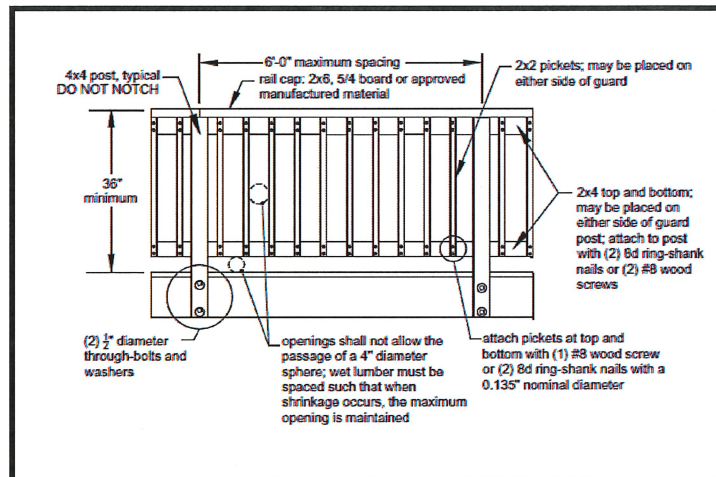
Details

Issued

D1 RELEASED FOR CLIENT APPROVAL, PERMITTING AND CONSTRUCTION  
31 May 2023

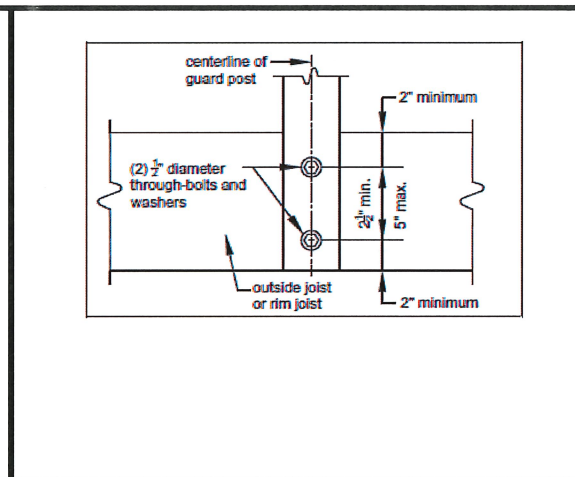
Sheet

**04**



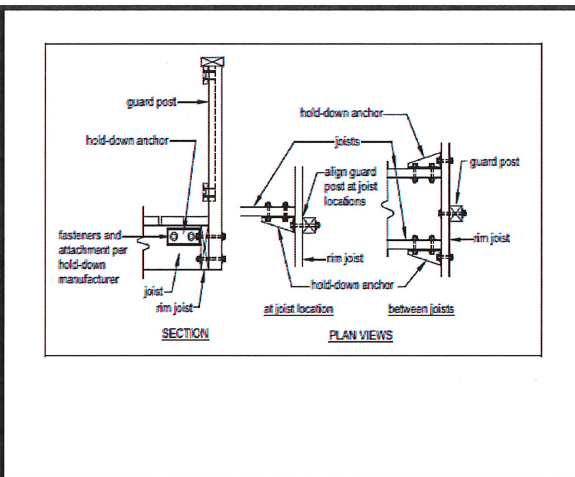
GUARDRAIL DETAIL

DD 015



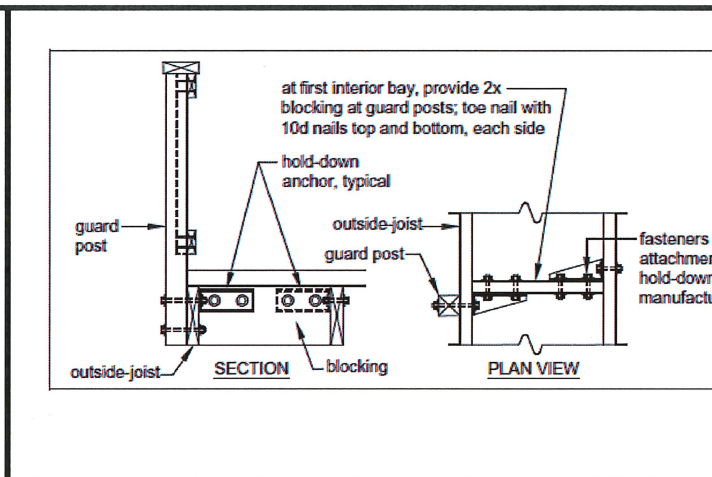
GUARDRAIL DETAIL

DD 016



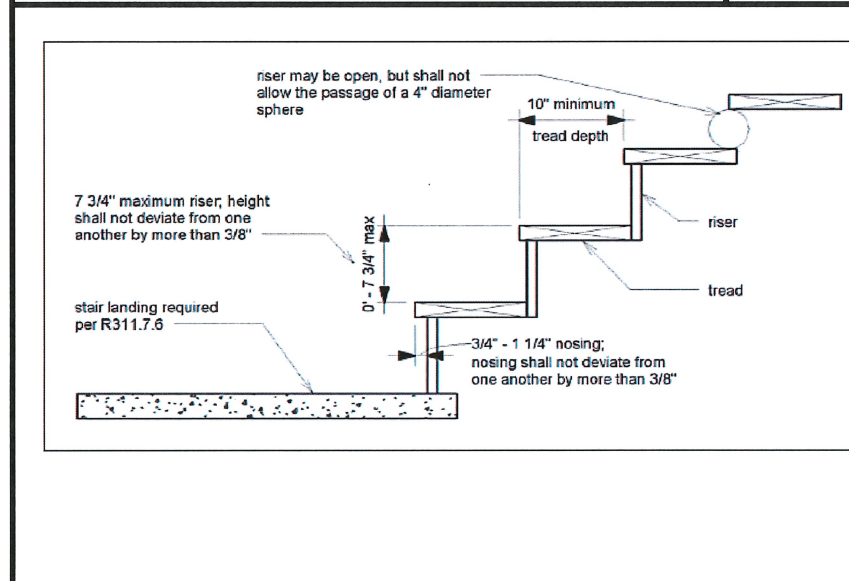
GUARDRAIL DETAIL

DD 017



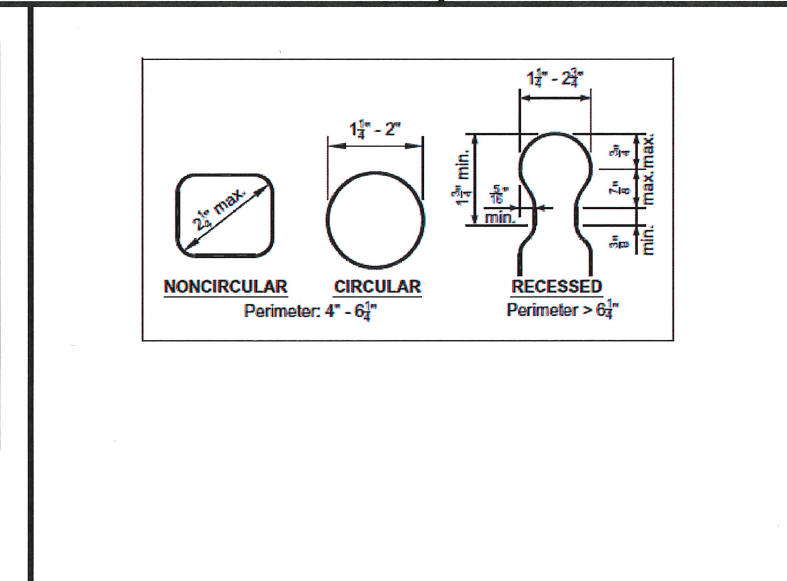
GUARDRAIL DETAIL

DD



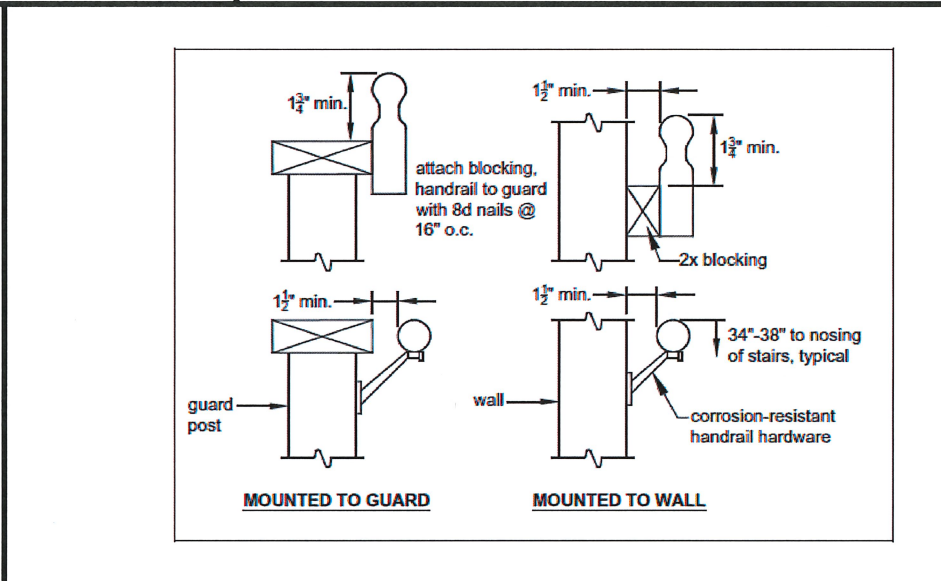
STAIR PROFILE

DD 019



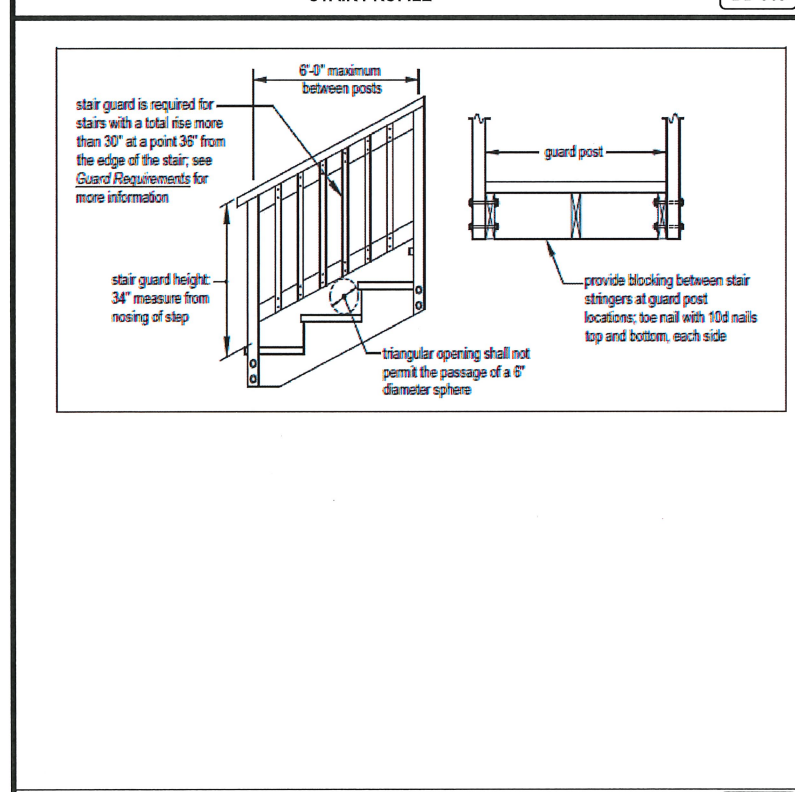
HANDRAIL PROFILE

DD 020



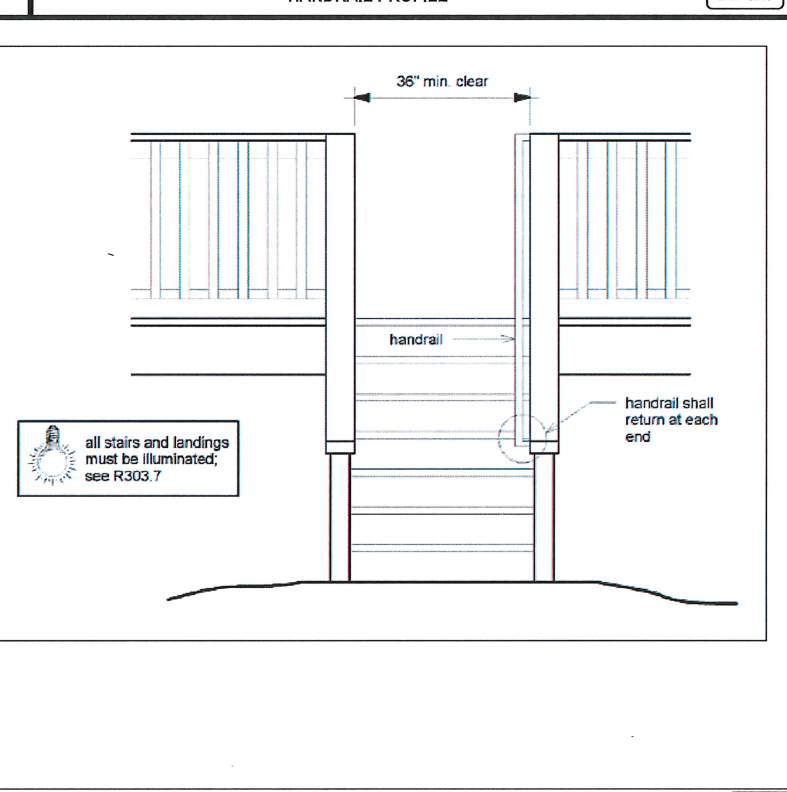
HANDRAIL DETAILS

DD



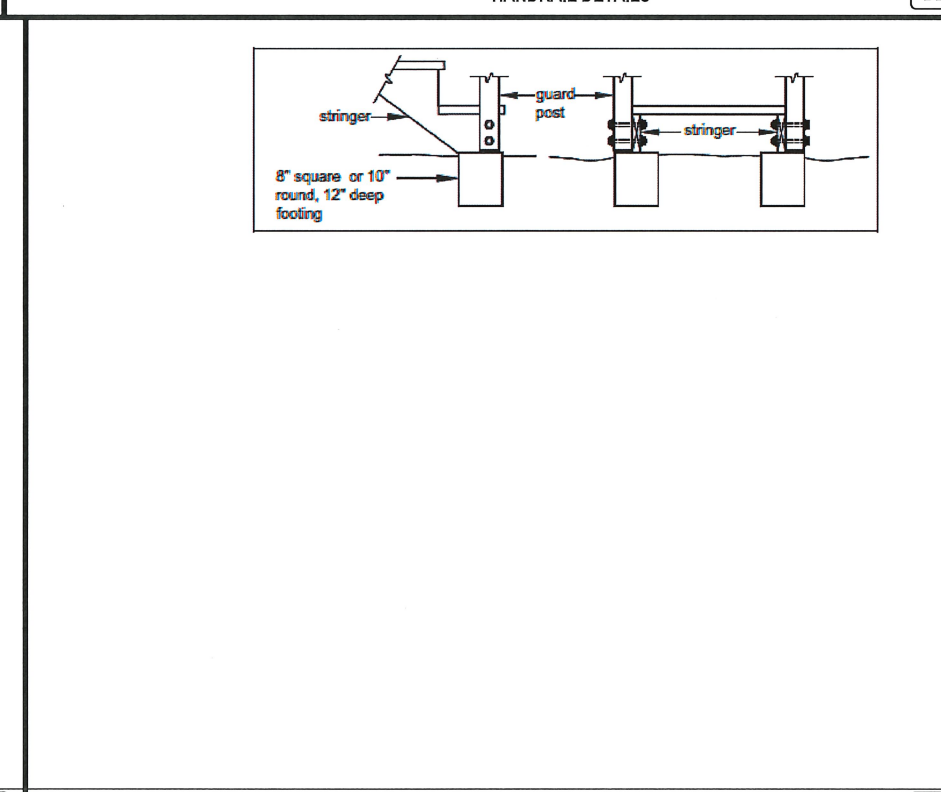
STAIR GUARDRAIL DETAILS

DD 022



STAIR DETAILS

DD 023



STAIR STRINGER CONNECTION TO FOOTING

DD