

VARIANCE APPLICATION

Planning & Zoning

2635 Talley Street
Decatur, GA 30030
Phone 404-377-6198
Fax 404-378-5054



Attach a survey of the property drawn to scale and showing the following information. Please provide one full-size copy of all plans, as well as one copy of all plans in an 8½" x 11" format. It is helpful to show floor plans and elevations of proposed building improvements, as well as a letter of support from adjacent property owners. If the applicant is not the current property owner, provide a notarized authorization for this application from the current property owner. See the stream variance submittal checklist for additional requirements for stream variances.

1. all property lines with dimensions
2. location of buildings and other structures, creeks and easements referenced to property lines
3. north arrow, scale, lot and block numbers and land lot
4. topographic and drainage information if pertinent

Address of property 102 5th Avenue Decatur, GA 30030

Name of applicant Derek Bigham Phone 404-234-8520

Address PO Box 956012 City/state/ZIP Decatur, GA 30033

Email derek@invest2911.com

Name of property owner 2911 Investment Group LLC Phone 404-234-8520

Address PO Box 956012 City/state/ZIP Decatur, GA 30033

Current zoning of property R-60

Please answer all of the following questions on a separate sheet.

1. What is the variance requested? What code requirement do you wish to vary from?
2. What are the special conditions relating to the specific piece of property in question (narrowness, shallowness, shape, topography, or other extraordinary and exceptional situation)?
3. Explain how the application of the zoning ordinance to this specific piece of property results in peculiar, extraordinary and practical difficulties?
4. Are the circumstances or conditions applying to the building or land in question peculiar to the premises? Do they apply generally to other land or buildings in the vicinity?
5. Explain why the granting of this variance is necessary for the preservation and enjoyment of a property right and does not merely serve as a convenience to the applicant.
6. Did the condition for which the variance is sought result from an action by the applicant?
7. Explain how the variance will affect the supply of light and air to adjacent property, the traffic on public streets, the danger of fire, the public safety and established property values.
8. Explain how the granting of the variance will be in harmony with the general purpose and intent of the Decatur land use plan.
9. Will the granting of the variance allow a structure or use in a district restricted against such structure or use?

I hereby certify that the above and attached statements and documents are true to the best of my knowledge and belief.

Applicant signature  Date 7/3/2023

1. What is the variance requested? What code requirement do you wish to vary from?
 - Front, side, and backyard setback variance. This request is for the front yard setback to be approved at 15', the side yards to be approved at 7'3" on facing street and the 3'10 1/2 on interior side rear to be approved at 6' from adjacent property line.
2. What are the special conditions relating to the specific piece of property in question (narrowness, shallowness, shape, topography, or other extraordinary and exceptional situation)?
 - The piece of property is a lot of record which previously contained a structure that has since been demolished. The piece of land is an awkwardly shaped, small corner lot that abuts a vacant lot owned by the city and backs up to the back of a property with an expansive back yard. The lot is narrow and shallow.
3. Explain how the application of the zoning ordinance to this specific piece of property results in peculiar, extraordinary and practical difficulties?
 - The application of zoning ordinances to this property would render it unusable. Without a variance approval, the allowed structure would be too impractical to build.
4. Are the circumstances or conditions applying to the building or land in question peculiar to the premises? Do they apply generally to other land or buildings in the vicinity?
 - The lot is a uniquely shaped lot and is unlike any of the surrounding lots. The lot is not a perfect rectangular lot. Further, the lot is not immediately adjacent to any other lots, therefore uniformity would not be affected by allowing the requested variances.
5. Explain why the granting of this variance is necessary for the preservation and enjoyment of a property right and does not merely serve as a convenience to the applicant.
 - The lot previously held a 2-story structure which was demolished. The current ordinances would not allow for a usable home to be built on the property as the setbacks would be too restrictive.
6. Did the condition for which the variance is sought result from an action by the applicant?
 - No.
7. Explain how the variance will affect the supply of light and air to adjacent property, the traffic on public streets, the danger of fire, the public safety and established property values.

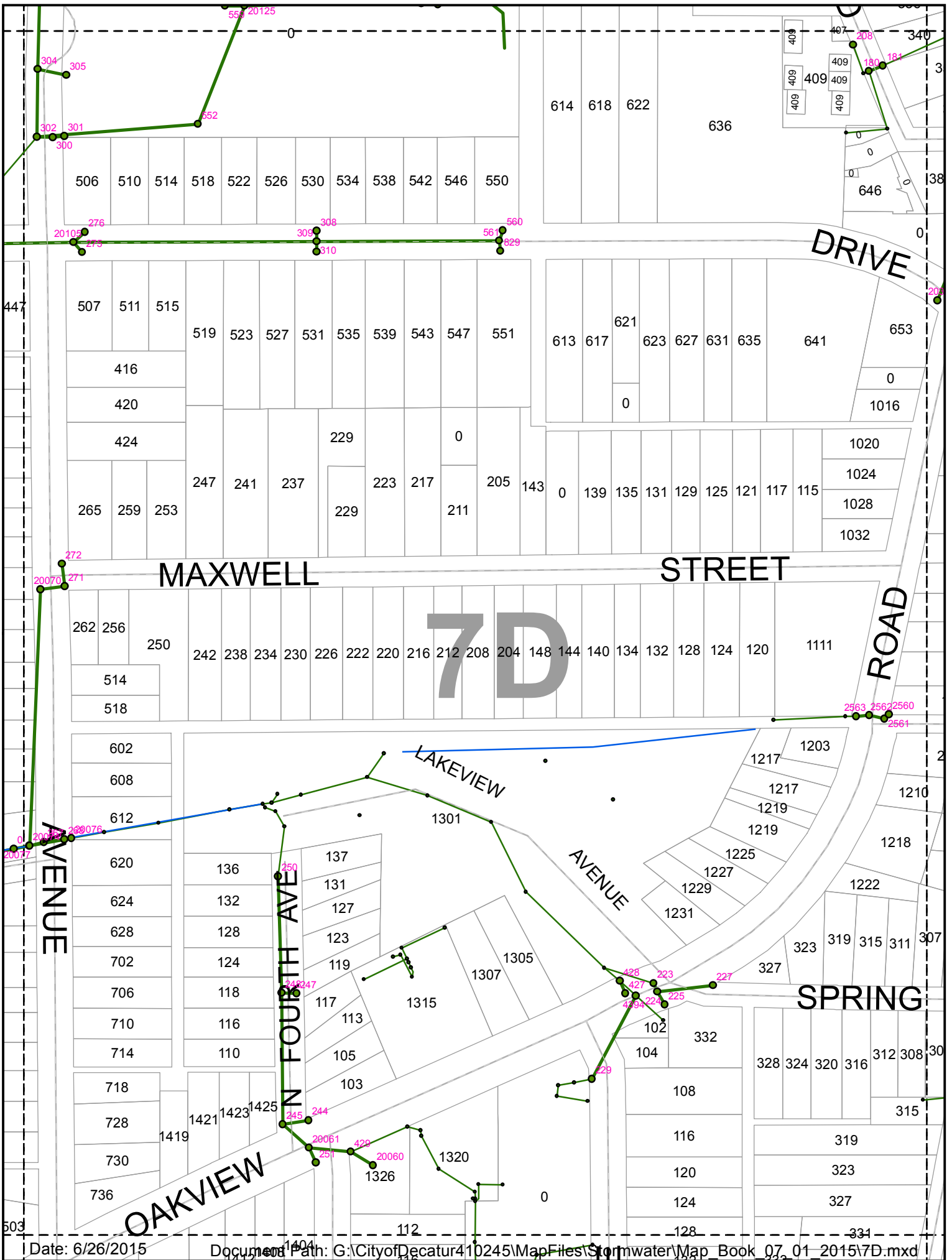
- The variance would allow for more square footage for the proposed property allowing for more light. I would not affect any adjacent properties as the proposed building is a one-story single family home which will fit into the look of the neighborhood. There are no extraordinary dangers of fire, public safety, or established property values.

8. Explain how the granting of the variance will be in harmony with the general purpose and intent of the Decatur land use plan.

- The proposed property will be a smaller new construction within the City of Decatur. The anticipated price point would be well below \$500,000. With the affordable housing crisis impacting the nation, and Decatur in particular, this home could serve as a model for builders, developers, homeowners, officials, and other parties to the possibilities of efficiency, usability, while maintaining profitability. Sub-\$500,000 homes in Decatur would serve the city's goal of economic diversity.

9. Will the granting of the variance allow a structure or use in a district restricted against such structure or use?

- No



7D

CODE COMPLIANCE

- INTERNATIONAL BUILDING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL FIRE CODE, 2018 EDITION (CONTACT STATE FIRE MARSHAL BELOW)
- INTERNATIONAL PLUMBING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL MECHANICAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL FUEL GAS CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- NATIONAL ELECTRICAL CODE, 2020 EDITION (NO GEORGIA AMENDMENTS)
- INTERNATIONAL ENERGY CONSERVATION CODE, 2015 EDITION, WITH GEORGIA SUPPLEMENTS AND AMENDMENTS (2020)
- INTERNATIONAL SWIMMING POOL AND SPA CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)

CODE REQUIREMENTS

- ALL CONSTRUCTIONS TO BE IN ACCORDANCE WITH THE APPLICABLE CODES, REGULATIONS AND ORDINANCES OF THE LOCAL CODES.
- CONTRACTOR TO FIREPROOF AS REQUIRED BY THE LOCAL CODES
- CONTRACTOR TO BE RESPONSIBLE THAT ALL CONSTRUCTION AND MATERIAL SELECTION CONFORM WITH ALL CODES, REGULATIONS AND ORDINANCES OF FEDERAL, STATE, AND LOCAL CODES
- THE CONTRACTOR TO HAVE A LICENSED SURVEYOR TO LAYOUT THE EXISTING AND PROPOSED BUILDING AND SETBACK LINES BEFORE STARTING CONSTRUCTION AND DIGGING FOUNDATIONS.
- THE CONTRACTOR IS TO VERIFY THE STRUCTURE IS IN COMPLIANCE WITH THE ZONING AND SETBACKS
- THE CONTRACTOR PROVIDE ALL REQUIRED BUILDING PERMITS BEFORE STARTING ANY WORK. CONTRACTOR TO PROVIDE ALL CERTIFICATES OF OCCUPANCY PERMITS TO OWNER AT COMPLETION
- CONTRACTOR TO HIRE STRUCTURAL ENGINEER TO VERIFY ALL STRUCTURAL LOADS, BEAM SIZES AND BEAM LOCATIONS BEFORE THE START OF PROJECT
- CONTRACTOR TO HIRE A SOILS ENGINEER (OR STRUCTURAL ENGINEER) TO VERIFY EXIST. SOIL STRENGTHS AND NEW FOOTING SIZES REQUIRED

1. ALL WORK IS TO COMPLY WITH THE LATEST ADOPTED VERSION OF THE UNIFORM BUILDING CODE AND ANY APPLICABLE STATE, COUNTY OR LOCAL REGULATIONS.

2. THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND IS TO NOTIFY THE DESIGNER OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.

3. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS.

4. DESIGN LOADS:

(LIVE)	ROOF	25 PSF (LIVE LOAD)
	FLOOR	40 PSF
	STAIRS	100 PSF
	GARAGE FLOOR	50 PSF (2000" PT)
	DECKS	60 PSF

(IF YOUR LOCAL AREA REQUIRES DIFFERENT DESIGN LOADS CONSULT WITH A LOCAL STRUCTURAL ENGINEER TO DETERMINE THE APPROPRIATE REVISIONS.)

5. INSULATION:

ROOF (VAULTED)	R-30
ROOF (FLAT)	R-28
WALLS (EXTERIOR)	R-19
FLOOR (OVER UNHEATED SPACE)	R-25
BASEMENT WALLS (W/12" OF GRADE)	R-21
SLAB ON GRADE	R-15
FURNACE DUCTS (UNHEATED SPACE)	R-6
BASEMENT WALLS (HEATED)	R-15

6. THE ABOVE VALUES ARE A MINIMUM AND MAY BE INCREASED IF DESIRED. VERIFY WITH CONTRACTOR.

7. ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.

8. PROVIDE INSULATION BAFFLES AT EAVE VENTS BETWEEN RAFTERS.

9. ROOF VENTS TO TOTAL MORE THAN 1/300 OF THE ATTIC AREA BEING VENTILATED.

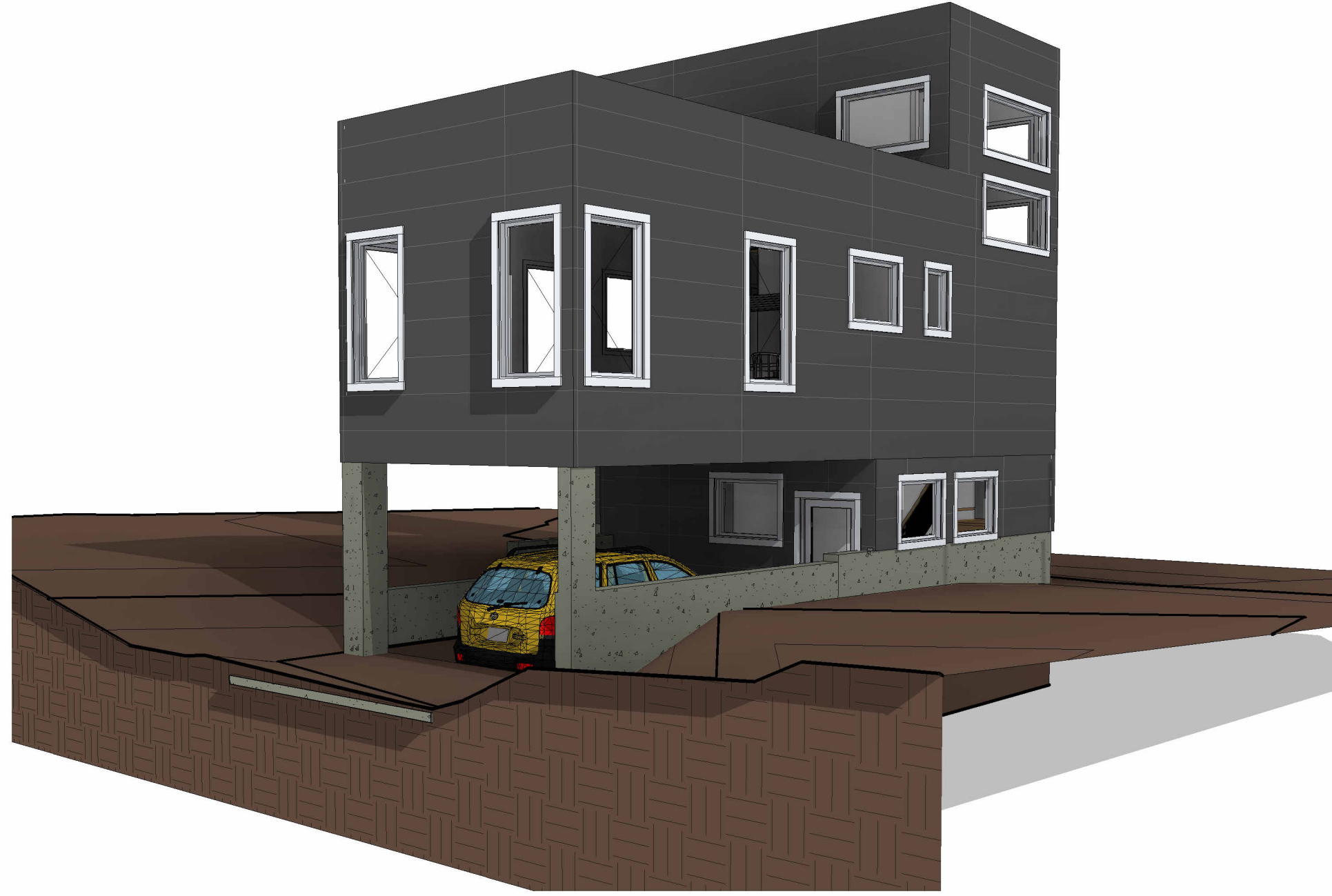
FRAMING NOTES

- ALL EXTERIOR WALL OPENINGS AND BEARING WALL OPENING TO HAVE (2) 2X12 HEADERS UNLESS OTHERWISE NOTED
- JOISTS THAT ARE ATTACHED TO FLUSH BEAMS ARE TO BE HUNG WITH SUMPSON " LUS210" OR EQUIVALENT.
- PROVIDE DOUBLE OR TRIPLE JOISTS UNDER ALL PARALLEL PARTITIONS OVER PROVIDED FIRE BLOCKING. DRAFTSTOPS & FIRESTOPS AS PER ICC RESIDENTIAL CODE 2006.
- HIP, VALLEY RAFTERS AND RIDGE BOARDS TO ALWAYS BE A BOARD SIZE 2" LARGER THAN RAFTERS.
- PROVIDE COLLAR TIES @ THE UPPER THIRD(1/3) OF VERTICAL DISTANCE BETWEEN RIDGE BOARD AND JOISTS @ 4'-0" O.C.
- PROVIDE "X" BRIDGING @ 8'-0" O.C MAXIMUM PER JOIST.
- PROVIDE SOLID BLOCKING AT MIDHEIGHT FOR ALL WALLS.
- ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED (P.T)
- ANCHOR BOLTS SHALL BE 3/4"x10" @ 48" O.C. AND BE WITHIN 12" FROM THE END OF SILLS AND CORNERS. PROVIDE MINIMUM OF TWO (2) BOLTS PER SILL EMBEDDED 7" INTO CONCRETE OR MASONRY.
- PROVIDE CONTINUOUS PERFORATED EAVE VENTS FOR ATTIC VENTILATION
- PROVIDE CONTINUOUS PERFORATED EAVE VENTS FOR ATTIC VENTILATION
- LUMBER SPECIES:
 - A. POSTS, BEAMS, HEADERS, JOISTS AND RAFTERS - NO. 1 OR NO. 2 SOUTHERN YELLOW PINE.
 - B. BLOCKING, BRIDGING, ETC. - NO. 1 OR NO. 2 SOUTHERN YELLOW PINE
 - C. SILLS & PLATES - PRESSURE TREATED (P.T)
 - D. STUDS - NO. 1 OR NO. 2 GRADE PRECUT STUDS (SOUTHERN YELLOW PINE OR DOUGLAS FIR).
 - E. POST & BEAM DECKING - UTILITY GRADE D.F.
 - F. PLYWOOD SHEATHING - CDX PLYWOOD (SEE PLANS FOR SIZE).
- ALL BASEMENT LEVEL STUDS SHALL BE 9'-0" IN HEIGHT FRAMED WITH PRESSURE - TREATED SINGLE BOTTOM PLATE AND DOUBLE TOP PLATE (2 X MATERIAL).
- ALL MAIN LEVEL STUDS SHALL BE 10'-0" IN HEIGHT FRAMED WITH SINGLE BOTTOM-PLATE AND DOUBLE TOP PLATE (2 X MATERIAL). ALL SECOND FLOOR STUDS SHALL BE 10'-0" IN HEIGHT FRAMED WITH SINGLE BOTTOM-PLATE AND DOUBLE TOP PLATE (2 X MATERIAL)
- ALL EXTERIOR WALL SHALL BE FRAMED WITH 2X4 STUDS @ 16" O.C. MAX. U.N.O
- ALL INTERIOR WALLS SHALL BE FRAMED USING 2X4 STUDS @ 16" O.C. UNLESS OTHERWISE NOTED. ANY NOTED INTERIOR WALLS FRAMED WITH 2X6 STUDS SHALL ALSO BE @ 16" O.C

- ALL EXTERIOR WALL OPENINGS & BEARING WALL OPENINGS TO HAVE 4 X 12 HEADERS UNLESS OTHERWISE INDICATED.
- JOISTS THAT ARE ATTACHED TO FLUSH BEAMS ARE TO BE HUNG WITH "SIMPSON" X-U120 OR EQUIV.
- PROVIDE DOUBLE JST. UNDER ALL WALLS ABOVE RUNNING PARALLEL TO JOISTS.
- PROVIDE FIREBLOCKING, DRAFTSTOPS & FIRESTOPS AS PER THE U.B.C. SEC. 2516F.
- LUMBER SPECIES:
 - A. POSTS, BEAMS, HEADERS, JOISTS AND RAFTERS NO. 2 DOUGLAS FIR
 - B. SILLS, PLATES, BLOCKING, BRIDGING ETC. NO. 3 DOUGLAS FIR
 - C. STUDS UTILITY GRADE DF.
 - D. POST 4 BEAM DECKING 1/2" CDX PLY, 3/2"16
 - E. PLYWOOD SHEATHING FB-2400, DRY ADH.
 - F. GLU-LAM BEAMS
- NAILING SCHEDULE:

JOIST TO SILL OR GIRDER BRIDGING TO JOIST	3-8d	TOE NAIL
2" SUBFLOOR TO GIRDER	2-8d	TOE NAIL
SOLE PL. TO JOIST	2-16d	BLIND & FACE
TOP PL. TO STUDS	16d @ 16"	FACE NAIL
STUD TO SOLE PL.	2-16d	END NAIL
	4-8d	TOE NAIL OR
	2-16ed	END NAIL
DOUBLE STUDS	16d @ 16"	FACE NAIL
DOUBLE TOP PL.	16d @ 16"	FACE NAIL
CONTINUOUS HEADER (2 PC.)	16d @ 16"	EDGE NAIL
CLG. JST. TO PL.	3-8d	TOE NAIL
CLG. JST. LAP OVER PL.	3-8d	FACE NAIL
CLG. JST. TO RAFTER	3-16d	FACE NAIL
RAFTER TO TOP PL.	3-8d	TOE NAIL
BUILT-UP CORNER STUDS	16d @ 24"	FACE NAIL
PLYWOOD SUBFLOOR	8d @ 6"	EDGE NAIL
	8d @ 10"	INTERIOR
PLY WALL 4 ROOF SHEATHING	8d @ 12" @ 6"	EDGE NAIL
TOP PL. AT INTERSECTIONS	2-16d	FACE NAIL
MULTIPLE JOISTS (UP TO 3)	16d @ 15"	STAGGER NAIL
MULTIPLE JOISTS (OVER 3)	1/2" DIA. BOLTS WAUASHERS	
	EA. SIDE @ 24" O.C.	
1 X 6 SPACED SHEATHING	2-8d	FACE NAIL
- MANUFACTURED TRUSS JOISTS MAY BE SUBSTITUTED FOR 2 X JOISTS WHERE APPLICABLE.

102 5TH AVE DECATUR GA 30030



3D View 1



3D View 2



3D View 3

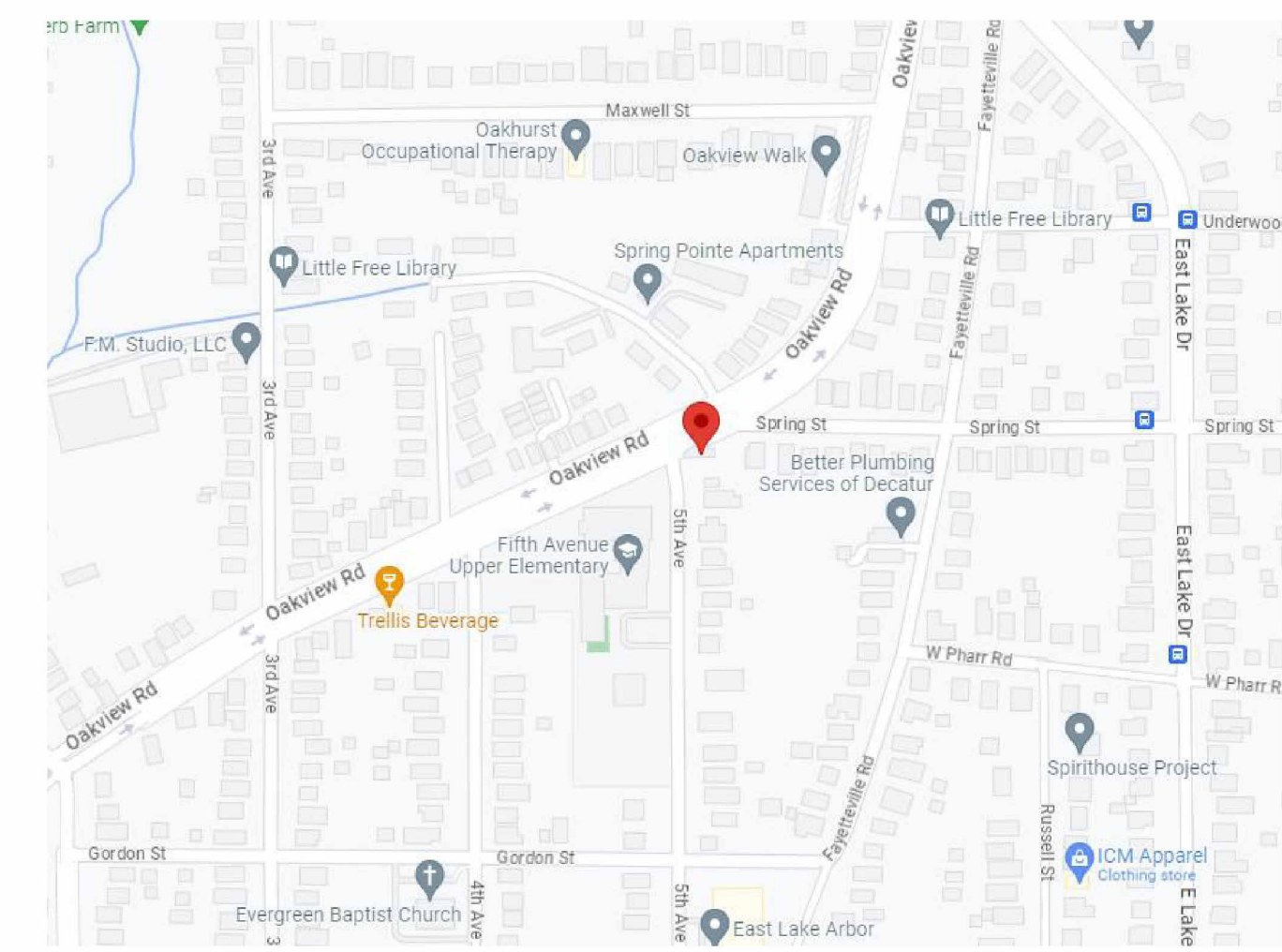
GENERAL NOTES

- TRIM FOR INSIDE AND OUTSIDE TO BE SELECTED BY OWNER
- THE WOOD DECK POSTS MUST RESIST 200LB. FROM ANY DIRECTIONS
- PROVIDE A WIRED DIRECTLY SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR AT EACH FLOOR/IN EACH BEDROOM AND AT HALLWAY OUTSIDE BEDROOM
- PROVIDE GFI OUTLETS BY ALL SINKS, AND WET AREAS
- 1/150 VENTILATION MIN. AREA FOR ATTIC AND UNDER FLOOR (WHICHEVER APPLIES) IS REQUIRED
- A FAN IS REQUIRED IN ALL WET AREA ROOMS IF AN OPERABLE WINDOW IS NOT IN THE ROOM
- IN ALL HABITABLE ROOMS, 8% MIN. LIGHT AND 4% MIN. VENTILATION AREA IS REQUIRED
- PROVIDE DOUBLE FLOOR JOISTS UNDER ALL PARALLEL PARTITION WALLS AND SOLID CONTINUOUS 2X SOLID BLOCKING UNDER ALL PERPENDICULAR PARTITION WALLS. LOAD BEARING WALLS NEED DESIGNED BEAM OR WALL UNDER THEM. (SEE STRUCTURAL FOR FRAMING PLAN)
- PRESSURE TREATED WOOD IS REQUIRED @ ALL CONTACT WITH CONCRETE AND EXPOSED TO WEATHERING CONDITIONS. DECAY RESISTANT WOOD INCLUDE REDWOOD BLACK LOCUST AND CEDARS
- PROVIDE 34"-38" HEIGHT HANDRAIL @ ALL STAIRS IF 4 OR MORE RISERS ARE PRESENT (SEE ELEVATIONS)
- PROVIDE 1/2" MIN. SHEATHING (4" WIDE IN. PLATE TO PLATE) OR 1X4 LET-IN OR APPROVED METAL STRAPS WALL BRACING REQUIRED FOR STRENGTHENING WALLS FOR MIN. SHEAR. THIS IS TO BE ACCOMPLISHED AT 25' ON CENTER AND ALL CORNERS, AT ALL LEVELS WITH WOOD FRAMING. THE LET-INS SHALL BE AS CLOSE TO 45 DEG. AS POSSIBLE
- TEMPERED GLASS IS REQUIRED WHEN SILL IS LESS THAN 18" ABOVE THE FINISHED FLOOR, 24" FROM THE EXTERIOR DOOR OPENING AND WITH 60" VERTICAL ABOVE TUB OR SHOWER ENCLOSURE. ALL GLASS IN DOORS TO BE TEMPERED (SEE FLOOR PLAN)
- PROVIDE 6'-8" MIN. HEAD CLEARANCE ABOVE STAIR AT ANY POINT.
- PROVIDE 36" MIN. HEIGHT RAILING @ ALL BALCONY, PORCH, DECK OR SURFACE WHERE THE DIFFERENCE IN THE HEIGHT TO THE GROUND IS 30" OR HIGHER (SEE ELEVATION)
- PROVIDE 3'-0" MIN. ACCESS WIDTH THROUGHOUT THE STRUCTURE INCLUDING STAIRS, HALLWAY, ETC.
- PROVIDE PULL DOWN STAIRS TO ATTIC. (MIN. 22' X 30' MIN. ATTIC ACCESS)
- PROVIDE 20'X22' MIN. OPENING SIZE WITH A 44' MAX WALL HEIGHT REQUIRED AT ONE WINDOW, IN EACH BEDROOM FOR EMERGENCY EGRESS.
- PROVIDE 7 3/4" MAX RISER HEIGHT AND 10' MIN. TREAD WIDTH AT ALL INTERIOR STAIRS
- 1/2" GYP. BD. REQUIRED UNDER ALL STAIRS THAT USE THE AREA AS HABITABLE ROOM. (SEE PLAN AT BASEMENT)
- DUAL GLAZING IS REQUIRED IF THE GLAZING AREA EXCEEDS 10% OF THE FLOOR AREA AND THE R-13 WALL INSULATION IS REQUIRED IF GLAZING AREA EXCEEDS 14% OF THE FLOOR AREA
- A LIGHT GAGE MECHANICAL CONNECTIONS IS REQUIRED AT THE BOTTOM OF ALL POST OR BUILT-UP POSTS WHEN IT SUPPORTS A POST, BEAM, FLOOR OR ROOF STRUCTURE ABOVE THAT CAN RESTRAIN POST FROM ANY MOVEMENT
- ALL EXISTING CONDITIONS AND DIMENSIONS TO BE VERIFIED BY CONTRACTOR
- INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDED SPECIFICATIONS
- THE FINAL GRADING OF THE LOT MUST BE GRADED SO ALL SURFACE WATER DRAINS AWAY FROM THE STRUCTURES. PROVIDE DRAINAGE UNDER ALL PARTS OF THE BUILDING NOT INCLUDED IN THE BASEMENT OR CRAWL SPACES.
- CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS, EXISTING CONDITIONS AND DIMENSIONS. CONTACT THE ARCHITECT IF THERE ARE CONFLICTS
- CONTRACTOR SHALL VERIFY ANY CONFLICTS WITH LOCATIONS OR MECHANICAL, ELECTRICAL, AND PLUMBING AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE PROVIDED.

AREA SCHEDULE		SHEET LIST	
NAME	AREA	SHEET NUMBER	SHEET NAME
HEATED TOTAL		A0.0	COVER SHEET
BASEMENT FLOOR	429 SF	A0.1	EXISTING SURVEY
MAIN FLOOR	489 SF	A1.0	SITE LAYOUT
SECOND FLOOR	236 SF	A1.1	FOUNDATION AND ROOF PLAN
	1164 SF	A1.2	FLOOR PLANS
NON HEATED		A2.0	EXTERIOR ELEVATIONS
COVERED DECK	116 SF	A2.1	EXTERIOR ELEVATIONS
PARKING PAD	317 SF	A3.0	ROOF PLAN
	433 SF	A4.0	SECTIONS
TOTAL	1588 SF	A5.1	WALL DETAILS
		A5.2	DETAILS
		A5.3	FRAMING PLANS
		A5.4	SPAN TABLES
		A5.5	SPAN CHARTS
		A5.6	LOAD CALCS
		A5.7	LOAD CALCS

AREA SCHEDULE LOT COVERAGE			
NAME	AREA	Site Area	LOT COVERAGE
BASEMENT FLOOR	429 SF	1809 SF	24%
PARKING PAD	317 SF	1809 SF	18%
TOTAL LOT COVERAGE	747 SF		41%

AREA SCHEDULE F.A.R				
NAME	AREA	Site Area	F.A.R	Above/Below Grade
HEATED TOTAL				
MAIN FLOOR	489 SF	1809 SF	27%	ABOVE GRADE
SECOND FLOOR	236 SF	1809 SF	13%	ABOVE GRADE
	725 SF		40%	



VICINITY MAP

Option 1

No.	Description	Date

DRAWN BY : CHRISTOPHER J MALONE
DESIGNED BY : CHRIS MALONE DESIGNS

CONTRACTOR CONTACT:
CHRIS MALONE
DESIGNS LLC

OWNER CONTACT:
DEREK
NEW CONSTRUCTION

PLAN NAME
PROJECT NUMBER : 2021-002
PROJECT ADDRESS:
102 5TH AVE DECATUR
GA 30030



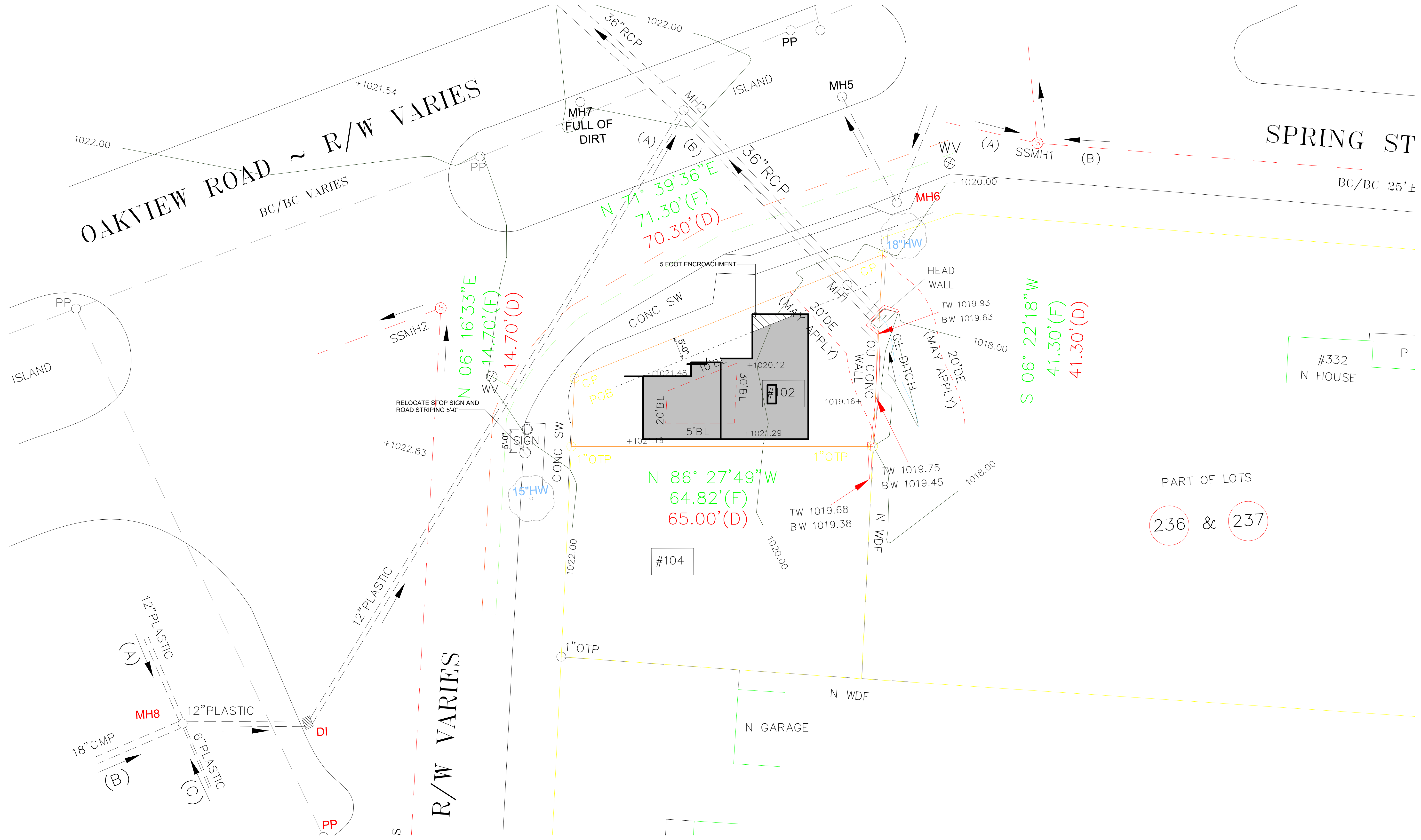
COVER SHEET
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RELEASED FOR CONSTRUCTION

11/20/2023 6:37:41 AM

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1 SITE LAYOUT
1" = 10'-0"

No.	Description	Date

DRAWN BY : CHRISTOPHER J MALONE
DESIGNED BY : CHRIS MALONE DESIGNS
11/20/2023 6:37:42 AM

CONTRACTOR CONTACT:
CHRIS MALONE
DESIGNS LLC

OWNER CONTACT:
DEREK
NEW CONSTRUCTION

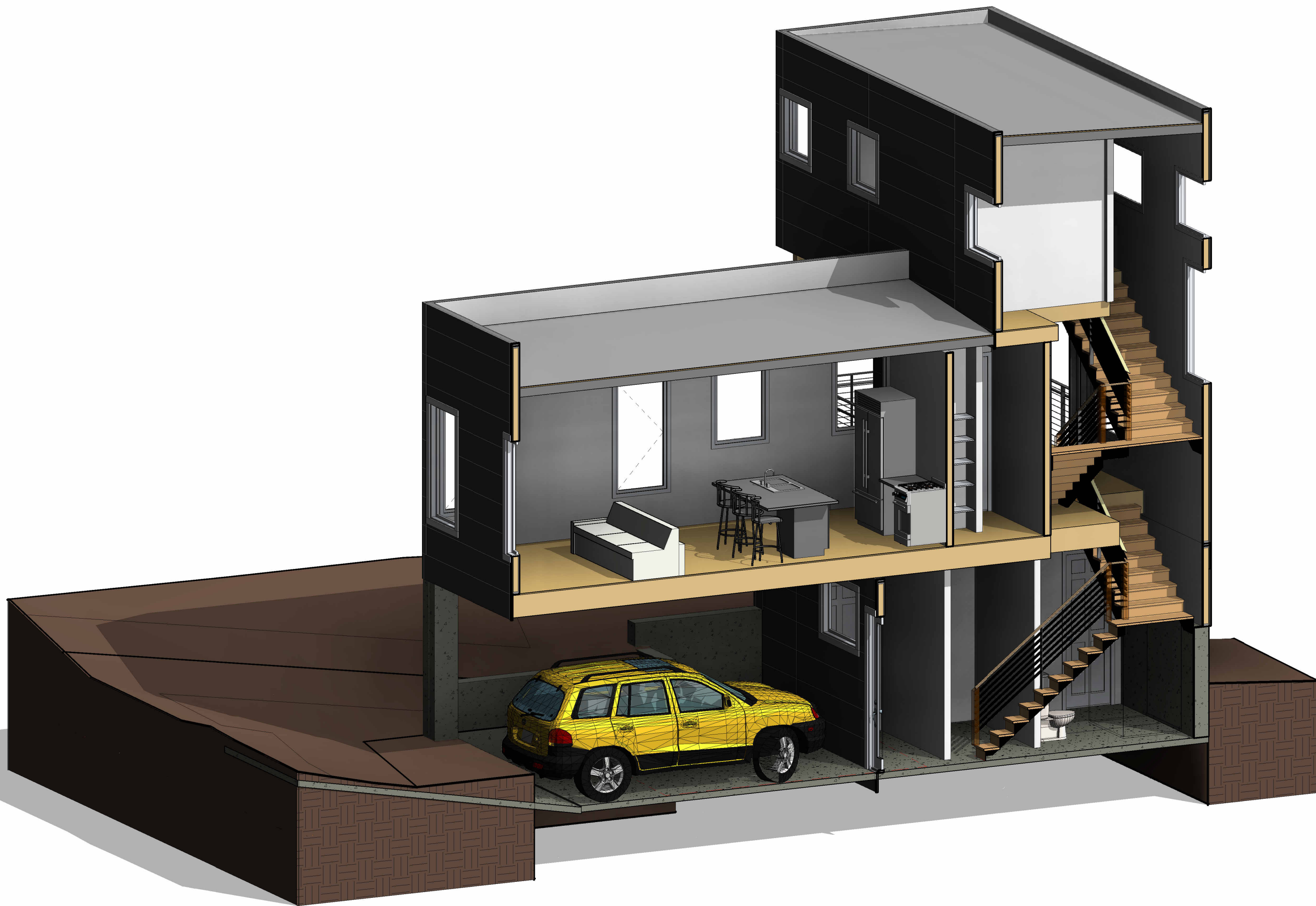
PLAN NAME
PROJECT NUMBER : 2021-002
PROJECT ADDRESS:
102 5TH AVE DECATUR
GA 30030

CMD
CHRIS MALONE
DESIGNS

SITE LAYOUT
A0.2
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RELEASED FOR CONSTRUCTION

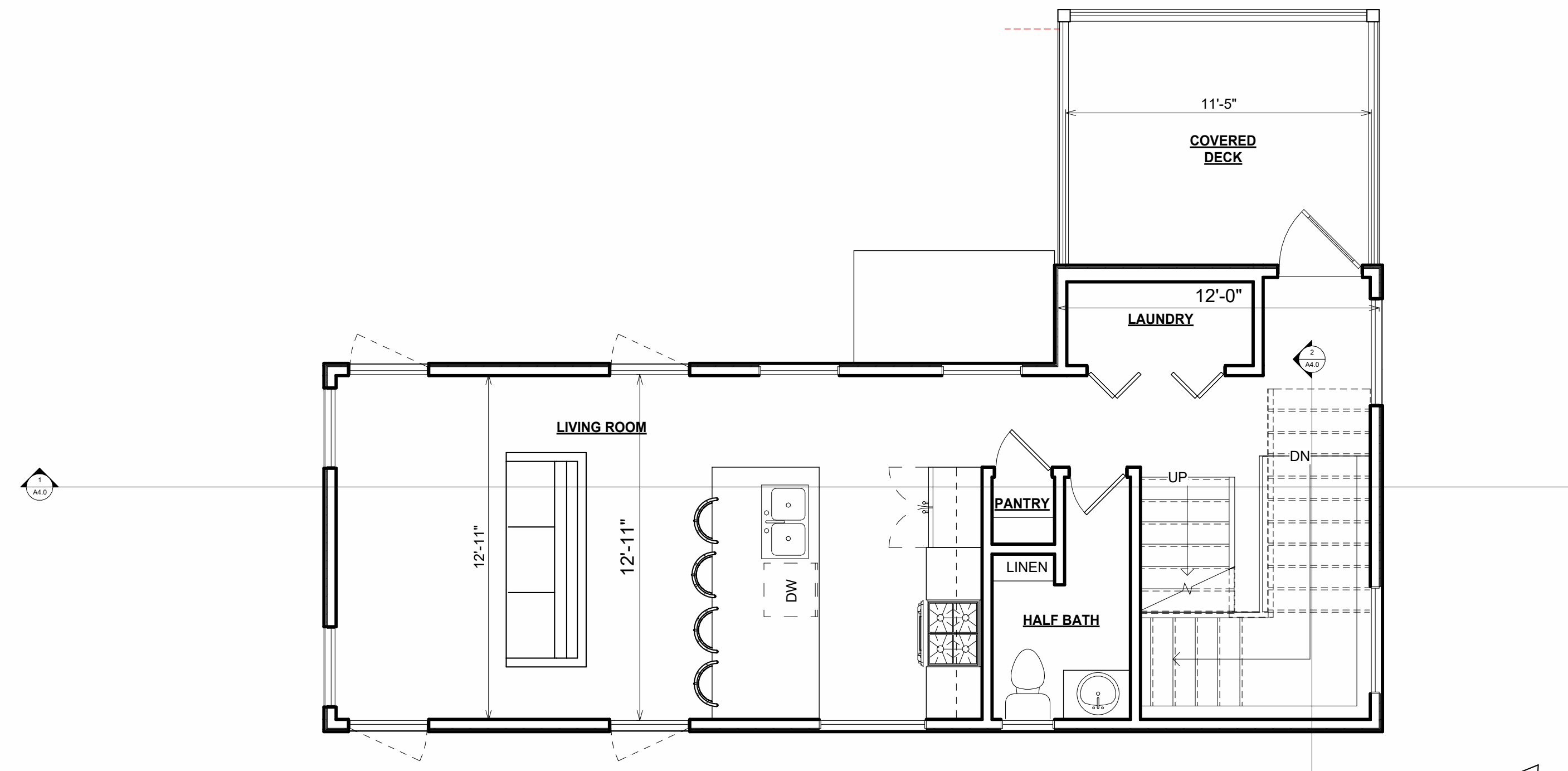


② 3D SECTION

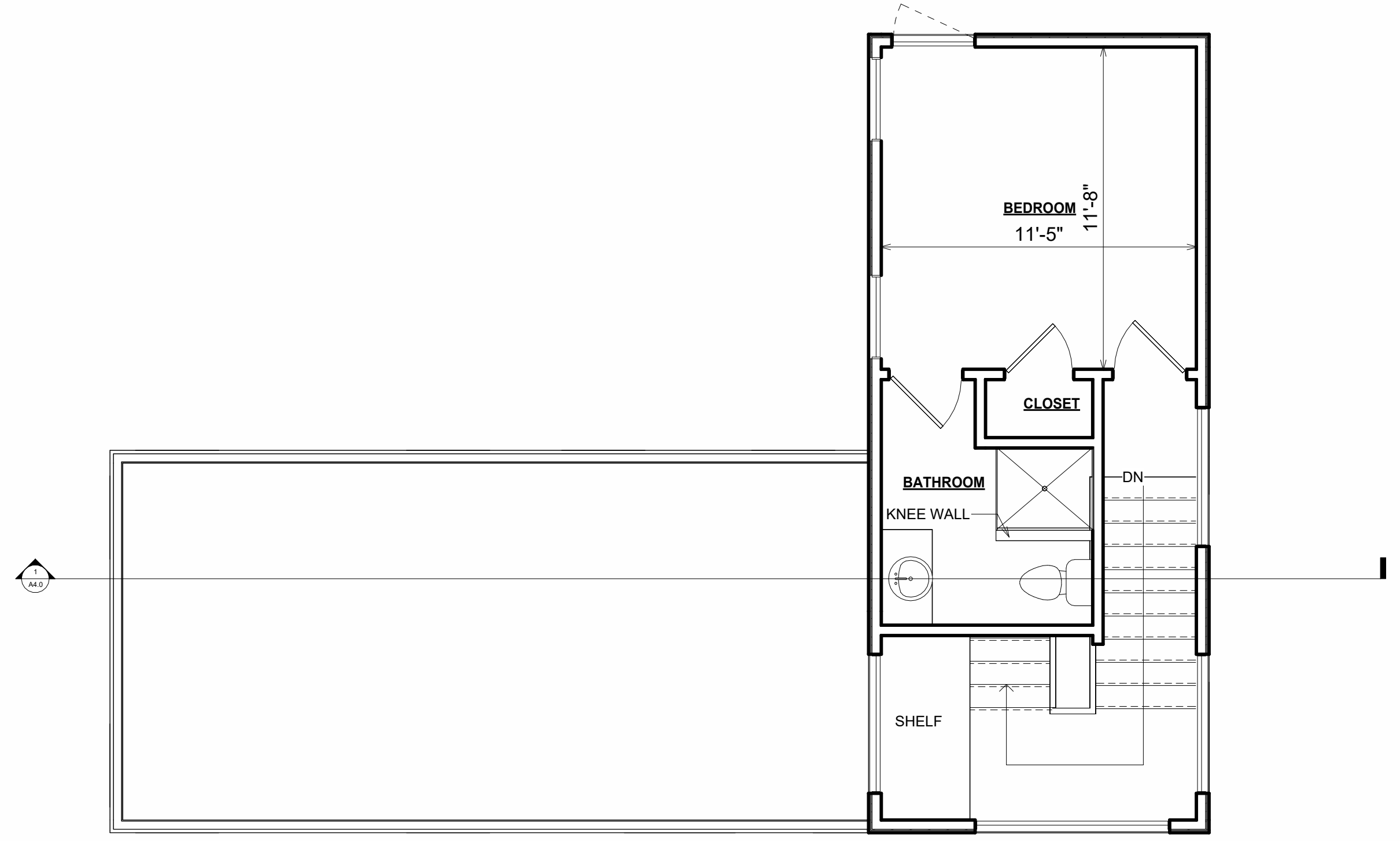
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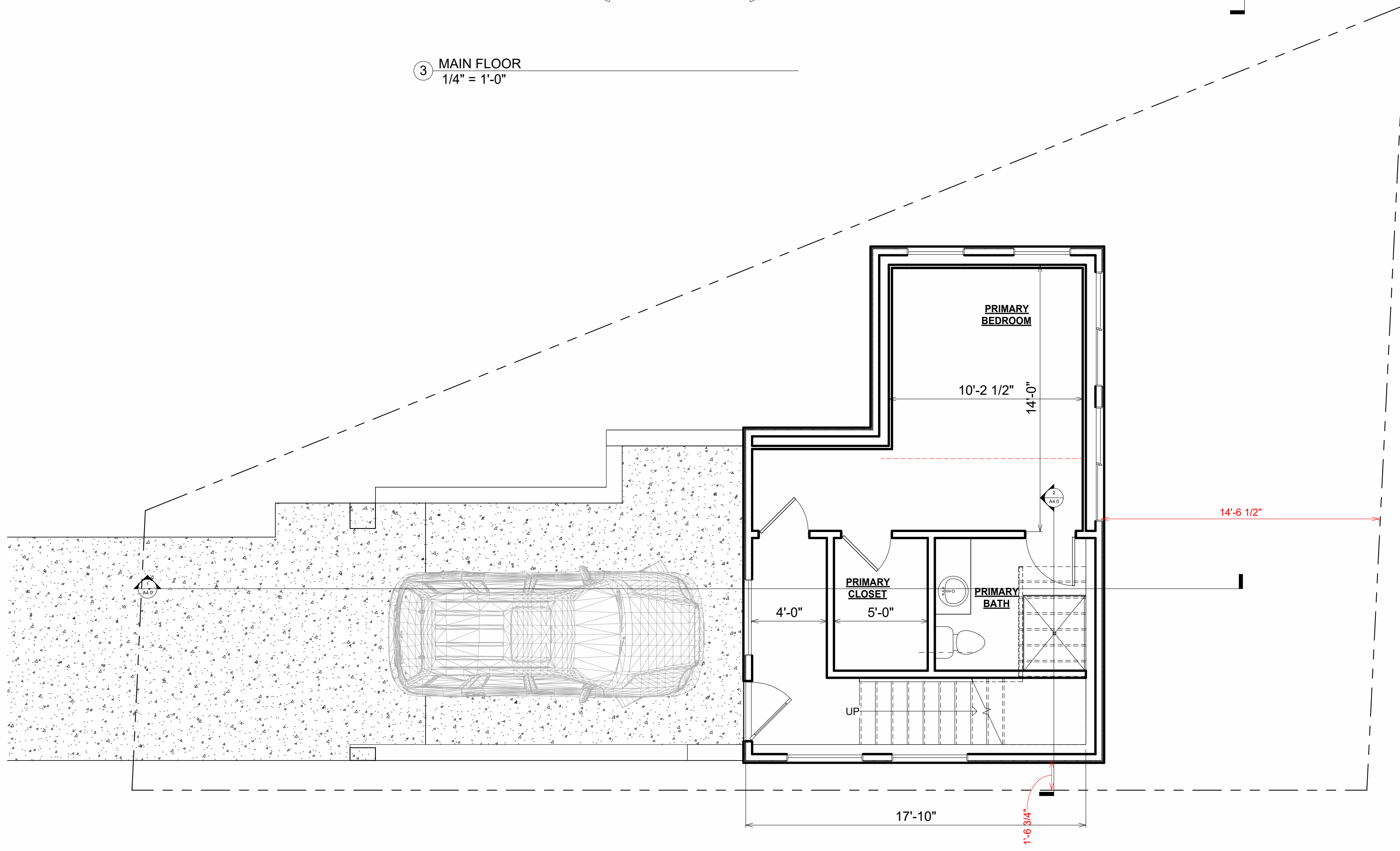
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NAME	AREA
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NON HEATED	
COVERED DECK	116 SF
PARKING PAD	317 SF
TOTAL	433 SF
TOTAL	1588 SF



③ MAIN FLOOR
1/4" = 1'-0"



④ SECOND FLOOR
1/4" = 1'-0"



① FIRST FLOOR
1/4" = 1'-0"

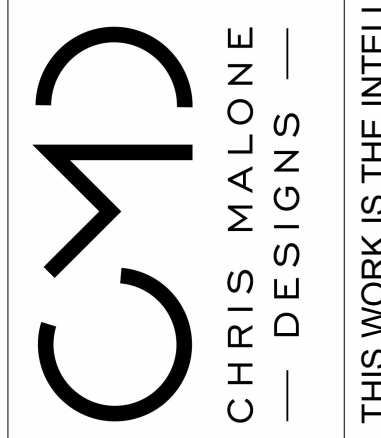
No.	Description	Date

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DESIGNED BY : CHRIS MALONE DESIGNS
11/20/2023 6:38:00 AM

CONTRACTOR CONTACT:
CHRIS MALONE
DESIGNS LLC

OWNER CONTACT:
DEREK
NEW CONSTRUCTION

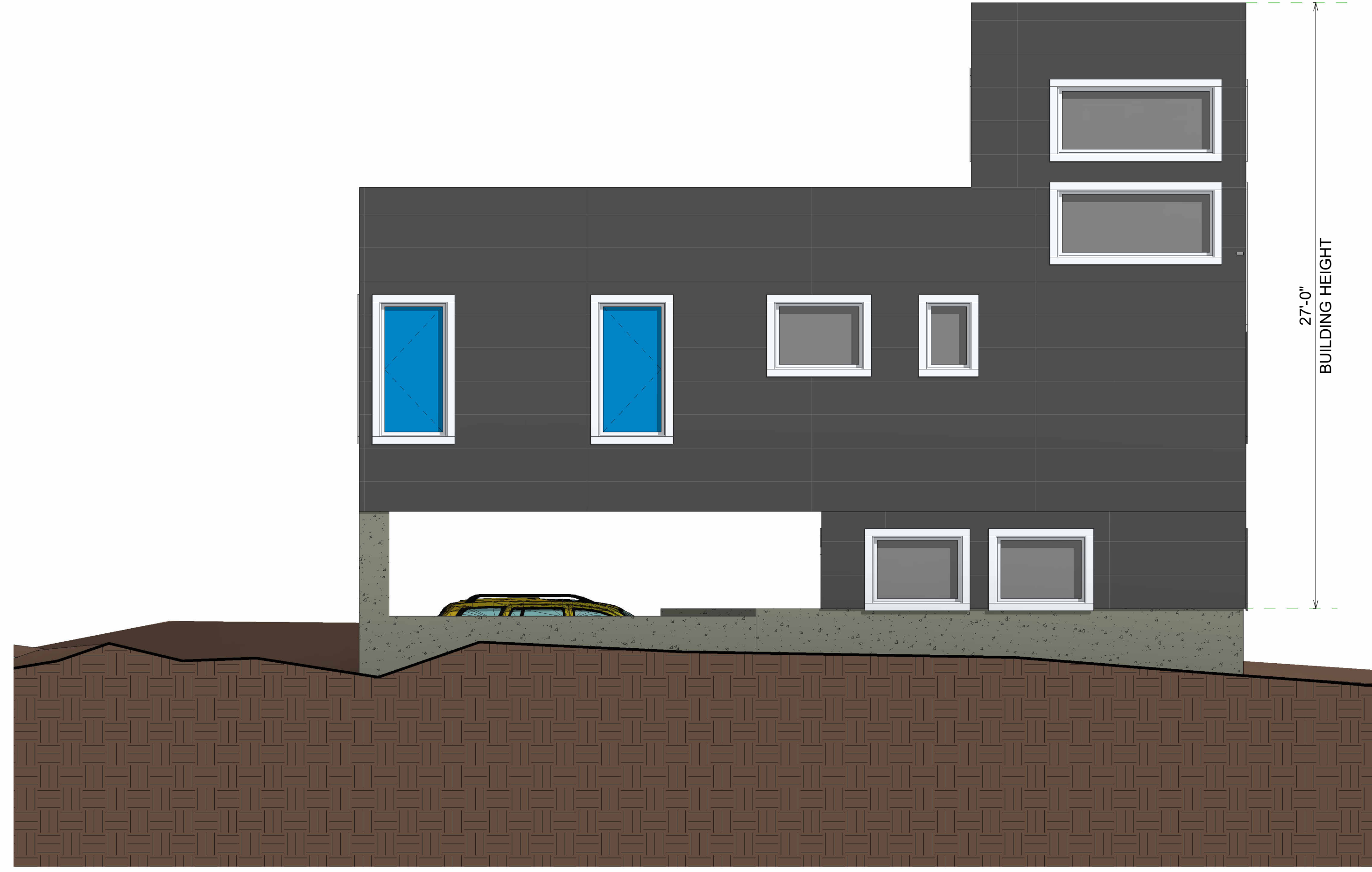
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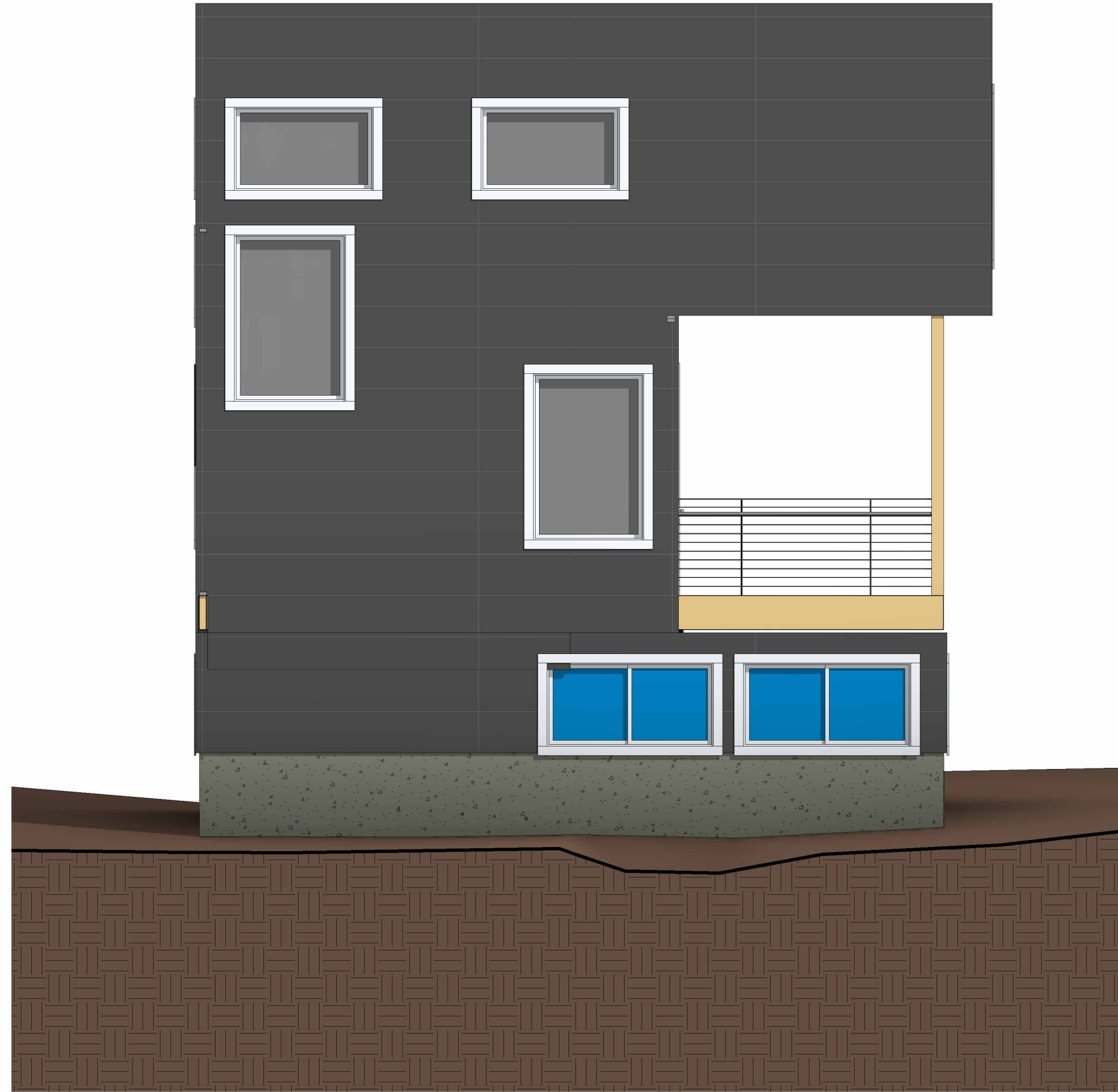
FLOOR PLANS
A1.1
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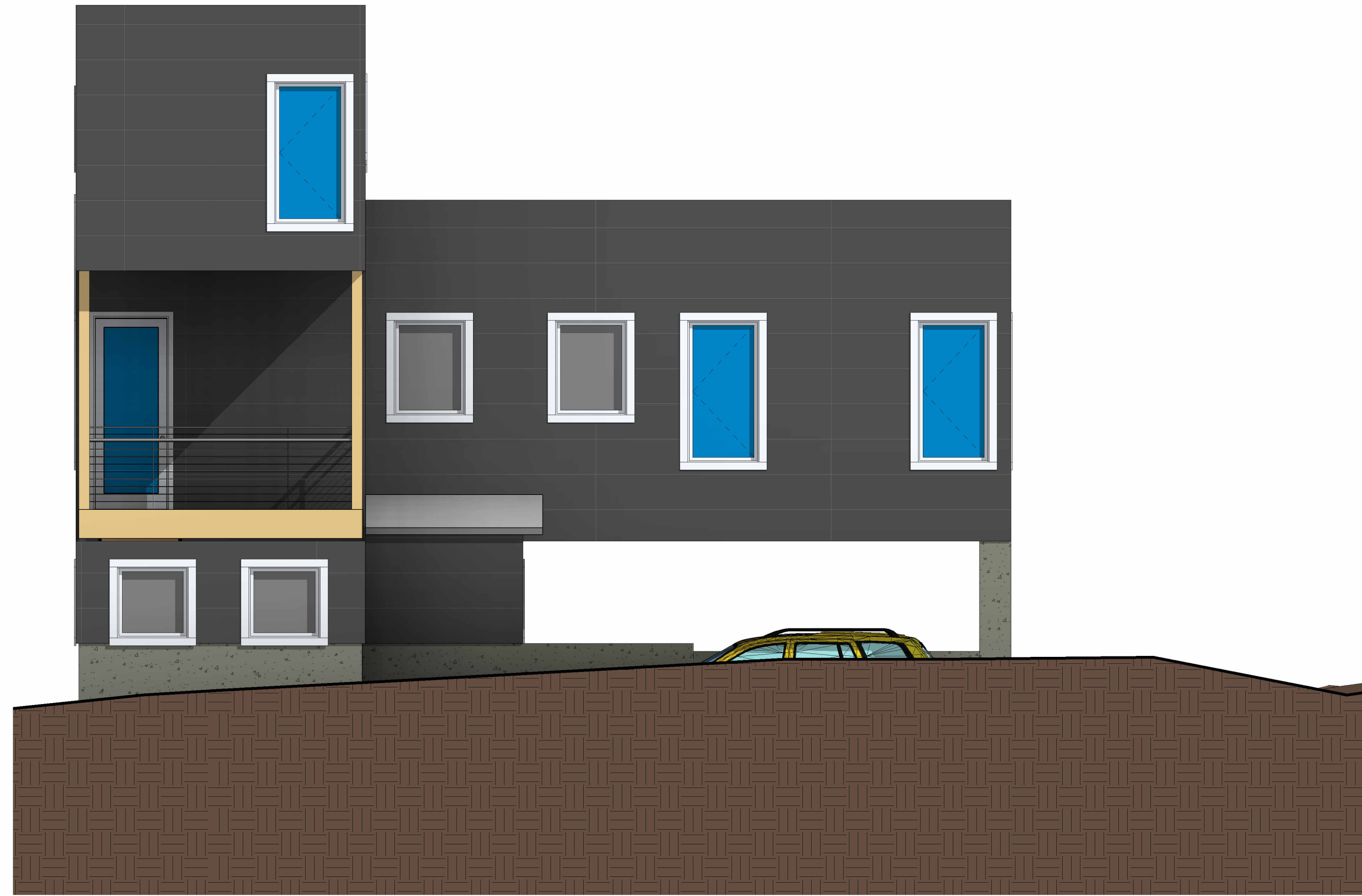
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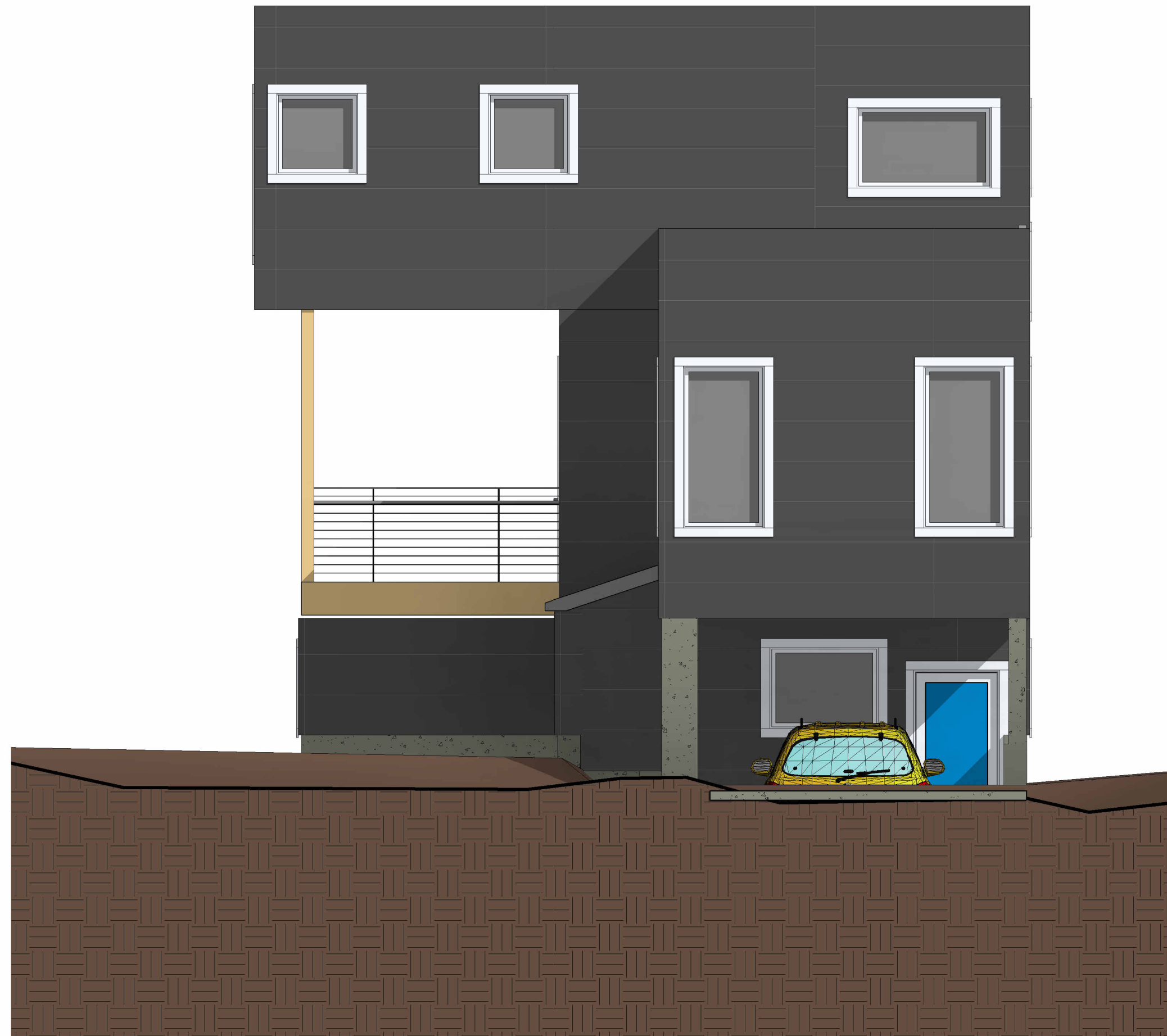
④ RIGHT ELEVATION
1/4" = 1'-0"



③ REAR ELEVATION
1/4" = 1'-0"



② LEFT ELEVATION
1/4" = 1'-0"



① FRONT ELEVATION
1/4" = 1'-0"

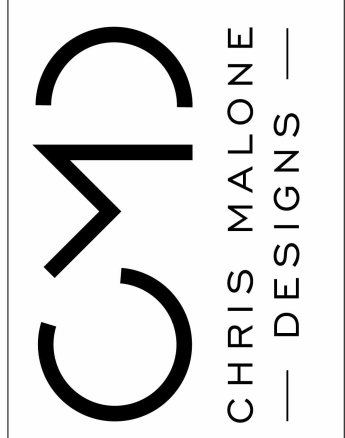
No.	Description	Date

DRAWN BY : CHRISTOPHER J MALONE
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11/20/2023 6:38:22 AM

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OWNER CONTACT:
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ELEVATIONS
P1
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RELEASED FOR CONSTRUCTION

CODE COMPLIANCE

- INTERNATIONAL BUILDING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL FIRE CODE, 2018 EDITION (CONTACT STATE FIRE MARSHAL BELOW)
- INTERNATIONAL PLUMBING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL MECHANICAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL FUEL GAS CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- NATIONAL ELECTRICAL CODE, 2020 EDITION (NO GEORGIA AMENDMENTS)
- INTERNATIONAL ENERGY CONSERVATION CODE, 2015 EDITION, WITH GEORGIA SUPPLEMENTS AND AMENDMENTS (2020)
- INTERNATIONAL SWIMMING POOL AND SPA CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)

CODE REQUIREMENTS

- ALL CONSTRUCTIONS TO BE IN ACCORDANCE WITH THE APPLICABLE CODES, REGULATIONS AND ORDINANCES OF THE LOCAL CODES.
- CONTRACTOR TO FIREPROOF AS REQUIRED BY THE LOCAL CODES
- CONTRACTOR TO BE RESPONSIBLE THAT ALL CONSTRUCTION AND MATERIAL SELECTION CONFORM WITH ALL CODES, REGULATIONS AND ORDINANCES OF FEDERAL, STATE, AND LOCAL CODES
- THE CONTRACTOR TO HAVE A LICENSED SURVEYOR TO LAYOUT THE EXISTING AND PROPOSED BUILDING AND SETBACK LINES BEFORE STARTING CONSTRUCTION AND DIGGING FOUNDATIONS.
- THE CONTRACTOR IS TO VERIFY THE STRUCTURE IS IN COMPLIANCE WITH THE ZONING AND SETBACKS
- THE CONTRACTOR TO PROVIDE ALL REQUIRED BUILDING PERMITS BEFORE STARTING ANY WORK. CONTRACTOR TO PROVIDE ALL CERTIFICATES OF OCCUPANCY PERMITS TO OWNER AT COMPLETION
- CONTRACTOR TO HIRE STRUCTURAL ENGINEER TO VERIFY ALL STRUCTURAL LOADS, BEAM SIZES AND BEAM LOCATIONS BEFORE THE START OF PROJECT
- CONTRACTOR TO HIRE A SOILS ENGINEER (OR STRUCTURAL ENGINEER) TO VERIFY EXIST. SOIL STRENGTHS AND NEW FOOTING SIZES REQUIRED

1. ALL WORK IS TO COMPLY WITH THE LATEST ADOPTED VERSION OF THE UNIFORM BUILDING CODE AND ANY APPLICABLE STATE, COUNTY OR LOCAL REGULATIONS.

2. THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND IS TO NOTIFY THE DESIGNER OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.

3. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS.

4. DESIGN LOADS:

(LIVE)	ROOF	25 PSF (LIVE LOAD)
	FLOOR	40 PSF
	STAIRS	100 PSF
	GARAGE FLOOR	50 PSF (2000" PT)
	DECKS	60 PSF

(IF YOUR LOCAL AREA REQUIRES DIFFERENT DESIGN LOADS CONSULT WITH A LOCAL STRUCTURAL ENGINEER TO DETERMINE THE APPROPRIATE REVISIONS.)

5. INSULATION:

	ROOF (VAULTED)	R-30
	ROOF (FLAT)	R-28
	WALLS (EXTERIOR)	R-19
	FLOOR (OVER UNHEATED SPACE)	R-25
	BASEMENT WALLS (W/12" OF GRADE)	R-21
	SLAB ON GRADE	R-15
	FURNACE DUCTS (UNHEATED SPACE)	R-9
	BASEMENT WALLS (HEATED)	R-15

6. THE ABOVE VALUES ARE A MINIMUM AND MAY BE INCREASED IF DESIRED. VERIFY WITH CONTRACTOR.

7. ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.

8. PROVIDE INSULATION BAFFLES AT EAVE VENTS BETWEEN RAFTERS.

9. ROOF VENTS TO TOTAL MORE THAN 1/300 OF THE ATTIC AREA BEING VENTILATED.

FRAMING NOTES

1. ALL EXTERIOR WALL OPENINGS AND BEARING WALL OPENING TO HAVE (2) 2X12 HEADERS UNLESS OTHERWISE NOTED

2. JOISTS THAT ARE ATTACHED TO FLUSH BEAMS ARE TO BE HUNG WITH SUMPSON " LUS210" OR EQUIVALENT.

3. PROVIDE DOUBLE OR TRIPLE JOISTS UNDER ALL PARALLEL PARTITIONS OVER PROVIDED FIRE BLOCKING. DRAFTSTOPS & FIRESTOPS AS PER ICC RESIDENTIAL CODE 2006.

4. HIP, VALLEY RAFTERS AND RIDGE BOARDS TO ALWAYS BE A BOARD SIZE 2" LARGER THAN RAFTERS.

5. PROVIDE COLLAR TIES @ THE UPPER THIRD(1/3) OF VERTICAL DISTANCE BETWEEN RIDGE BOARD AND JOISTS @ 4'-0 O.C.

6. PROVIDE "X" BRIDGING @ 8'-0" O.C MAXIMUM PER JOIST.

7. PROVIDE SOLID BLOCKING AT MIDHEIGHT FOR ALL WALLS.

8. ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED (P.T)

9. ANCHOR BOLTS SHALL BE 3/4"x10" @ 48" O.C. AND BE WITHIN 12" FROM THE END OF SILLS AND CORNERS. PROVIDE MINIMUM OF TWO (2) BOLTS PER SILL EMBEDDED 7" INTO CONCRETE OR MASONRY.

10. PROVIDE CONTINUOUS PERFORATED EAVE VENTS FOR ATTIC VENTILATION

11. PROVIDE CONTINUOUS PERFORATED EAVE VENTS FOR ATTIC VENTILATION

12. LUMBER SPECIES:
A. POSTS, BEAMS, HEADERS, JOISTS AND RAFTERS - NO. 1 OR NO. 2 SOUTHERN YELLOW PINE.

B. BLOCKING, BRIDGING, ETC. - NO. 1 OR NO. 2 SOUTHERN YELLOW PINE

C. SILLS & PLATES - PRESSURE TREATED (P.T)

D. STUDS - NO. 1 OR NO. 2 GRADE PRECUT STUDS (SOUTHERN YELLOW PINE OR DOUGLAS FIR).

E. POST & BEAM DECKING - UTILITY GRADE D.F.

F. PLYWOOD SHEATHING - CDX PLYWOOD (SEE PLANS FOR SIZE).

13. ALL BASEMENT LEVEL STUDS SHALL BE 9'-0" IN HEIGHT FRAMED WITH PRESSURE - TREATED SINGLE BOTTOM PLATE AND DOUBLE TOP PLATE (2 X MATERIAL).

14. ALL MAIN LEVEL STUDS SHALL BE 10'-0" IN HEIGHT FRAMED WITH SINGLE BOTTOM-PLATE AND DOUBLE TOP PLATE (2 X MATERIAL). ALL SECOND FLOOR STUDS SHALL BE 10'-0" IN HEIGHT FRAMED WITH SINGLE BOTTOM-PLATE AND DOUBLE TOP PLATE (2 X MATERIAL)

15. ALL EXTERIOR WALL SHALL BE FRAMED WITH 2X4 STUDS @ 16" O.C. MAX. U.N.O

16. ALL INTERIOR WALLS SHALL BE FRAMED USING 2X4 STUDS @ 16" O.C. UNLESS OTHERWISE NOTED. ANY NOTED INTERIOR WALLS FRAMED WITH 2X6 STUDS SHALL ALSO BE @ 16" O.C

102 5TH AVE DECATUR GA 30030



3D View 1

3D View 2

3D View 3

- ALL EXTERIOR WALL OPENINGS & BEARING WALL OPENINGS TO HAVE 4 X 12 HEADERS UNLESS OTHERWISE INDICATED.
- JOISTS THAT ARE ATTACHED TO FLUSH BEAMS ARE TO BE HUNG WITH "SIMPSON" U-210 OR EQUIV.
- PROVIDE DOUBLE JOISTS UNDER ALL WALLS ABOVE RUNNING PARALLEL TO JOISTS.
- PROVIDE FIREBLOCKING, DRAFTSTOPS & FIRESTOPS AS PER THE U.B.C. SEC. 2516F.
- LUMBER SPECIES:
A. POSTS, BEAMS, HEADERS, JOISTS AND RAFTERS
B. SILLS, PLATES, BLOCKING, BRIDGING ETC.
C. STUDS
D. POST 4 BEAM DECKING
E. PLYWOOD SHEATHING
F. GLU-LAM BEAMS
NO. 2 DOUGLAS FIR
NO. 3 DOUGLAS FIR
STUD GRADE DF.
UTILITY GRADE DF.
1/2" CDX PLY, 32/16
FB-2400, DRY ADH.
- NAILING SCHEDULE:
JOIST TO SILL OR GIRDER
BRIDGING TO JOIST
2" SUBFLOOR TO GIRDER
SOLE PL. TO JOIST
TOP PL. TO STUDS
STUD TO SOLE PL.
DOUBLE STUDS
DOUBLE TOP PL.
CONTINUOUS HEADER (2 PC.)
CLG. JST. TO PL.
CLG. JST. LAP OVER PL.
CLG. JST. TO RAFTER
RAFTER TO TOP PL.
BUILT-UP CORNER STUDS
PLYWOOD SUBFLOOR
PLY WALL 4 ROOF SHEATHING
8d @ 12"
16d @ 16"
16d @ 16"
3-8d
3-8d
3-16d
3-8d
16d @ 24"
8d @ 6"
8d @ 10"
8d @ 6"
2-16d
16d @ 15"
1/2" DIA. BOLTS WAUASHERS
EA. SIDE @ 24" O.C.
2-8d
TOE NAIL
TOE NAIL
BLIND & FACE
FACE NAIL
END NAIL
TOE NAIL OR
END NAIL
FACE NAIL
FACE NAIL
EDGE NAIL
TOE NAIL
FACE NAIL
FACE NAIL
TOE NAIL
FACE NAIL
EDGE NAIL
EDGE NAIL
INTERIOR
EDGE NAIL
FACE NAIL
FACE NAIL
STAGGER NAIL
1/2" DIA. BOLTS WAUASHERS
EA. SIDE @ 24" O.C.
FACE NAIL
- MANUFACTURED TRUSS JOISTS MAY BE SUBSTITUTED FOR 2 X JOISTS WHERE APPLICABLE.

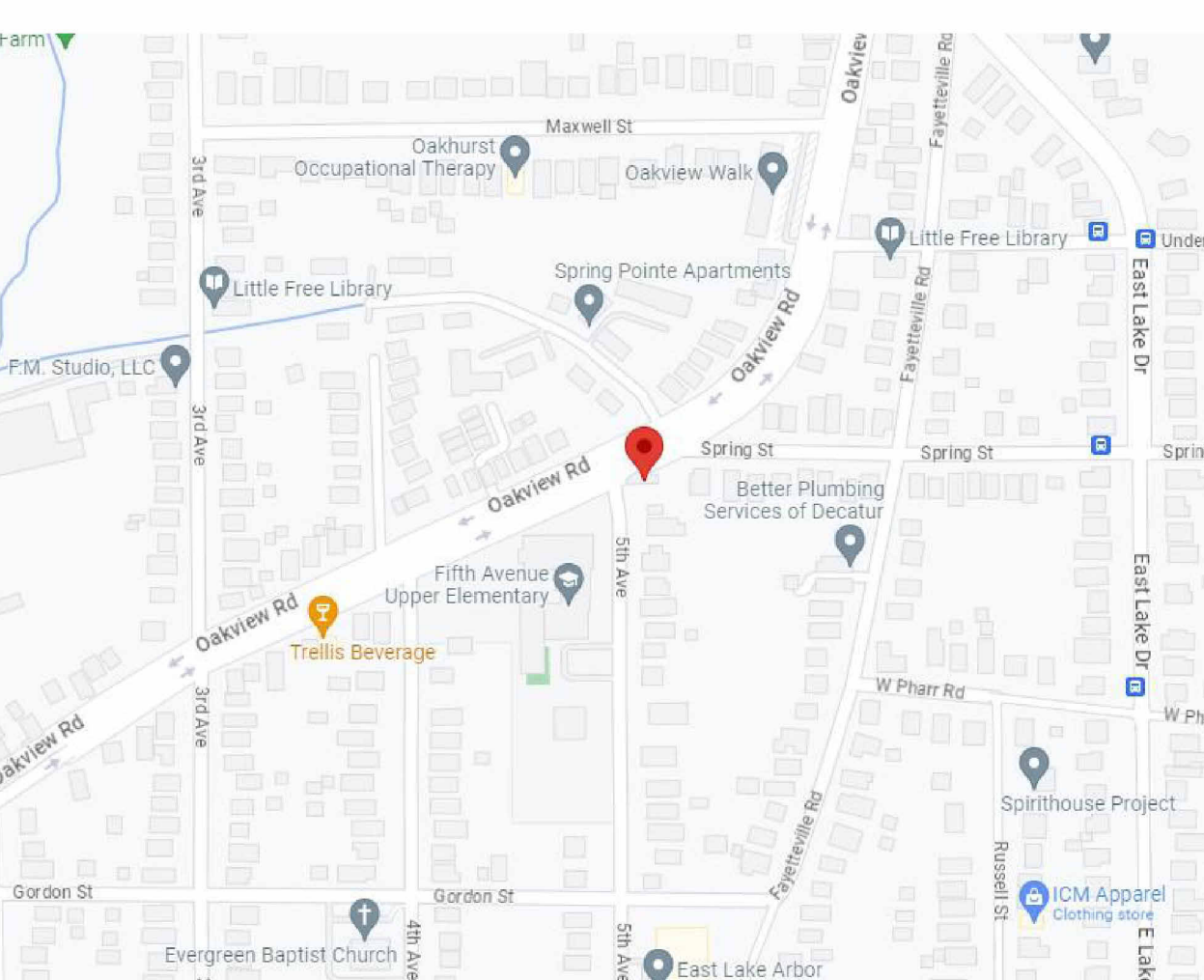
GENERAL NOTES

- TRIM FOR INSIDE AND OUTSIDE TO BE SELECTED BY OWNER
- THE WOOD DECK POSTS MUST RESIST 200LB. FROM ANY DIRECTIONS
- PROVIDE A WIRED DIRECTLY SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR AT EACH FLOOR/IN EACH BEDROOM AND AT HALLWAY OUTSIDE BEDROOM
- PROVIDE GFI OUTLETS BY ALL SINKS, AND WET AREAS
- 1/150 VENTILATION MIN. AREA FOR ATTIC AND UNDER FLOOR (WHICHEVER APPLIES) IS REQUIRED
- A FAN IS REQUIRED IN ALL WET AREA ROOMS IF AN OPERABLE WINDOW IS NOT IN THE ROOM
- IN ALL HABITABLE ROOMS, 8% MIN. LIGHT AND 4% MIN. VENTILATION AREA IS REQUIRED
- PROVIDE DOUBLE FLOOR JOISTS UNDER ALL PARALLEL PARTITION WALLS AND SOLID CONTINUOUS 2X SOLID BLOCKING UNDER ALL PERPENDICULAR PARTITION WALLS. LOAD BEARING WALLS NEED DESIGNED BEAM OR WALL UNDER THEM. (SEE STRUCTURAL FOR FRAMING PLAN)
- PRESSURE TREATED WOOD IS REQUIRED @ ALL CONTACT WITH CONCRETE AND EXPOSED TO WEATHERING CONDITIONS. DECAY RESISTANT WOOD INCLUDE REDWOOD BLACK LOCUST AND CEDARS
- PROVIDE 34"-38" HEIGHT HANDRAIL @ ALL STAIRS IF 4 OR MORE RISERS ARE PRESENT (SEE ELEVATIONS)
- PROVIDE 1/2" MIN. SHEATHING (4" WIDE IN. PLATE TO PLATE) OR 1X4 LET-IN OR APPROVED METAL STRAPS WALL BRACING REQUIRED FOR STRENGTHENING WALLS FOR MIN. SHEAR. THIS IS TO BE ACCOMPLISHED AT 25" ON CENTER AND ALL CORNERS, AT ALL LEVELS WITH WOOD FRAMING. THE LET-INS SHALL BE AS CLOSE TO 45 DEG. AS POSSIBLE
- TEMPERED GLASS IS REQUIRED WHEN SILL IS LESS THAN 18" ABOVE THE FINISHED FLOOR, 24" FROM THE EXTERIOR DOOR OPENING AND WITH 60" VERTICAL ABOVE TUB OR SHOWER ENCLOSURE. ALL GLASS IN DOORS TO BE TEMPERED (SEE FLOOR PLAN)
- PROVIDE 6'-8" MIN. HEAD CLEARANCE ABOVE STAIR AT ANY POINT.
- PROVIDE 36" MIN. HEIGHT RAILING @ ALL BALCONY, PORCH, DECK OR SURFACE WHERE THE DIFFERENCE IN THE HEIGHT TO THE GROUND IS 30" OR HIGHER (SEE ELEVATION)
- PROVIDE 3'-0" MIN. ACCESS WIDTH THROUGHOUT THE STRUCTURE INCLUDING STAIRS, HALLWAY, ETC.
- PROVIDE PULL DOWN STAIRS TO ATTIC. (MIN. 22' X 30' MIN. ATTIC ACCESS)
- PROVIDE 20'X22' MIN. OPENING SIZE WITH A 44" MAX WALL HEIGHT REQUIRED AT ONE WINDOW, IN EACH BEDROOM FOR EMERGENCY EGRESS.
- PROVIDE 7 3/4" MAX RISER HEIGHT AND 10' MIN. TREAD WIDTH AT ALL INTERIOR STAIRS
- 1/2" GYP. BD. REQUIRED UNDER ALL STAIRS THAT USE THE AREA AS HABITABLE ROOM. (SEE PLAN AT BASEMENT)
- DUAL GLAZING IS REQUIRED IF THE GLAZING AREA EXCEEDS 10% OF THE FLOOR AREA AND THE R-13 WALL INSULATION IS REQUIRED IF GLAZING AREA EXCEEDS 14% OF THE FLOOR AREA
- A LIGHT GAGE MECHANICAL CONNECTIONS IS REQUIRED AT THE BOTTOM OF ALL POST OR BUILT-UP POSTS WHEN IT SUPPORTS A POST, BEAM, FLOOR OR ROOF STRUCTURE ABOVE THAT CAN RESTRAIN POST FROM ANY MOVEMENT
- ALL EXISTING CONDITIONS AND DIMENSIONS TO BE VERIFIED BY CONTRACTOR
- INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDED SPECIFICATIONS
- THE FINAL GRADING OF THE LOT MUST BE GRADED SO ALL SURFACE WATER DRAINS AWAY FROM THE STRUCTURES. PROVIDE DRAINAGE UNDER ALL PARTS OF THE BUILDING NOT INCLUDED IN THE BASEMENT OR CRAWL SPACES.
- CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS, EXISTING CONDITIONS AND DIMENSIONS. CONTACT THE ARCHITECT IF THERE ARE CONFLICTS
- CONTRACTOR SHALL VERIFY ANY CONFLICTS WITH LOCATIONS OR MECHANICAL, ELECTRICAL, AND PLUMBING AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE PROVIDED.

AREA SCHEDULE		SHEET LIST	
NAME	AREA	SHEET NUMBER	SHEET NAME
HEATED TOTAL		A0.0	COVER SHEET
BASEMENT FLOOR		A0.1	EXISTING SURVEY
MAIN FLOOR		A0.2	SITE LAYOUT
SECOND FLOOR		A1.0	FOUNDATION AND ROOF PLAN
1193 SF		A1.1	FLOOR PLANS
		A2.0	EXTERIOR ELEVATIONS
NON HEATED		A2.1	EXTERIOR ELEVATIONS
COVERED DECK		A3.0	ROOF PLAN
PARKING PAD		A4.0	SECTIONS
395 SF		A5.1	WALL DETAILS
TOTAL		A5.2	DETAILS
1588 SF		A5.3	FRAMING PLANS
		A5.4	SPAN TABLES
		A5.5	SPAN CHARTS
		A5.6	LOAD CALCS
		A5.7	LOAD CALCS

AREA SCHEDULE LOT COVERAGE			
NAME	AREA	Site Area	LOT COVERAGE
BASEMENT FLOOR	468 SF	1809 SF	26%
PARKING PAD	279 SF	1809 SF	15%
TOTAL LOT COVERAGE	747 SF		41%

AREA SCHEDULE F.A.R			
NAME	AREA	Site Area	F.A.R
HEATED TOTAL			
MAIN FLOOR	489 SF	1809 SF	27%
SECOND FLOOR	236 SF	1809 SF	13%
TOTAL	725 SF		40%



VICINITY MAP

Option 2

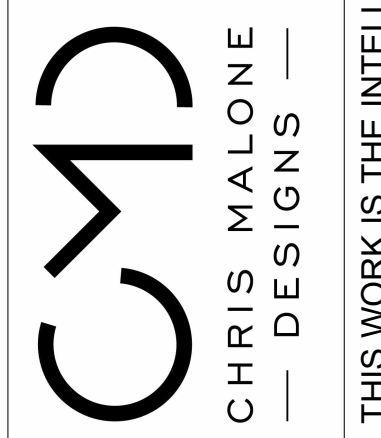
Date	Description	No.

DRAWN BY : CHRISTOPHER J MALONE
DESIGNED BY: CHRIS MALONE DESIGNS
11/20/2023 6:41:03 AM

CONTRACTOR CONTACT:
CHRIS MALONE
DESIGNS LLC

OWNER CONTACT:
DEREK
NEW CONSTRUCTION

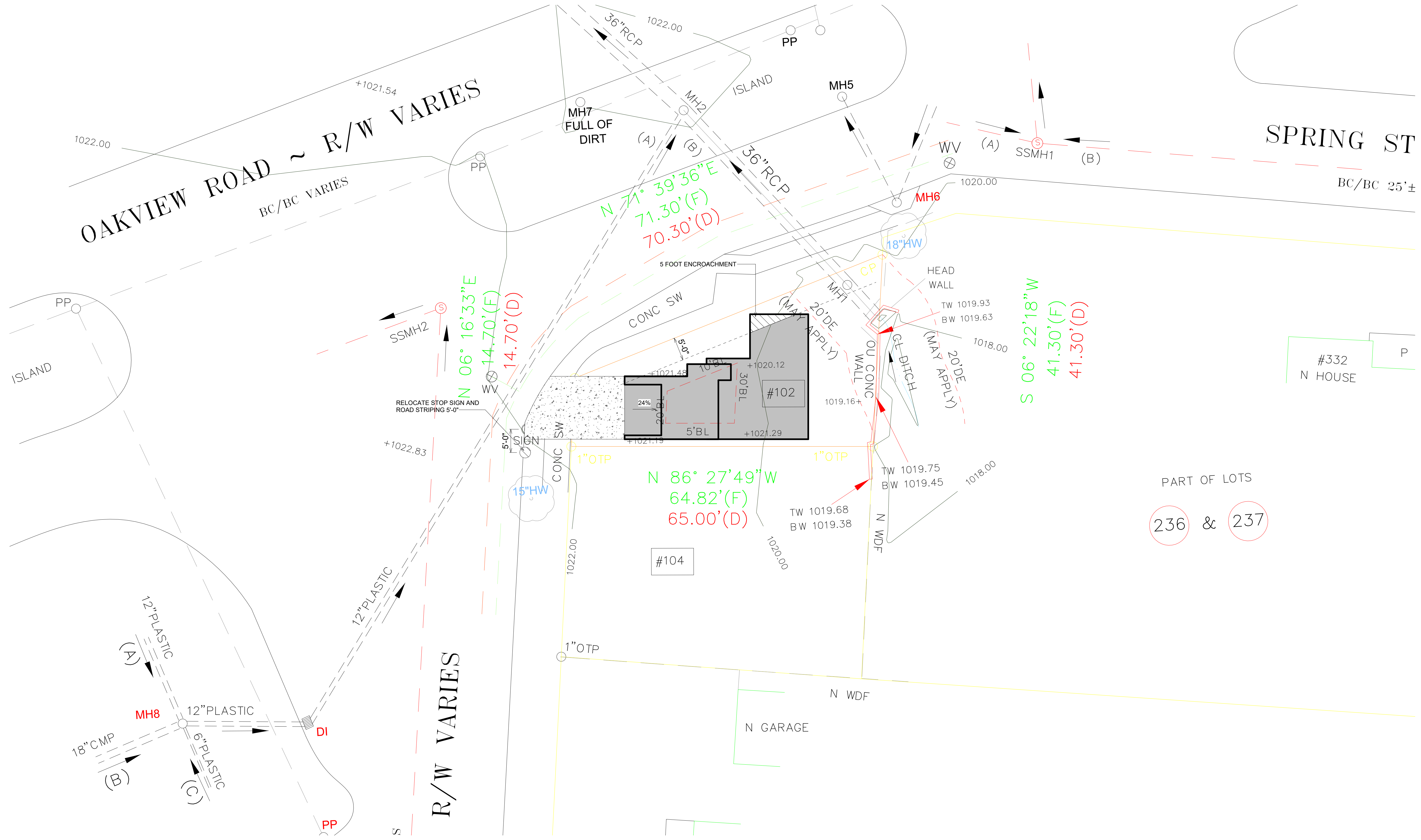
PLAN NAME
PROJECT NUMBER : 2021-002
PROJECT ADDRESS:
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GA 30030



COVER SHEET
A0.0
CHRIS MALONE
DESIGNS
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① SITE LAYOUT
1" = 10'-0"

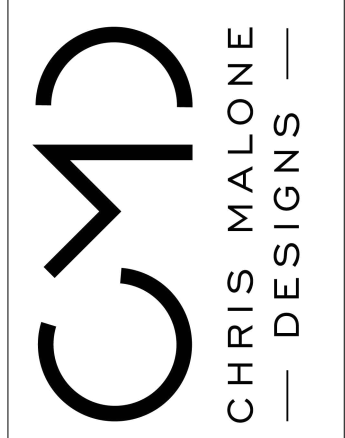
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DESIGNED BY : CHRIS MALONE DESIGNS
11/20/2023 6:41:04 AM

CONTRACTOR CONTACT:
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OWNER CONTACT:
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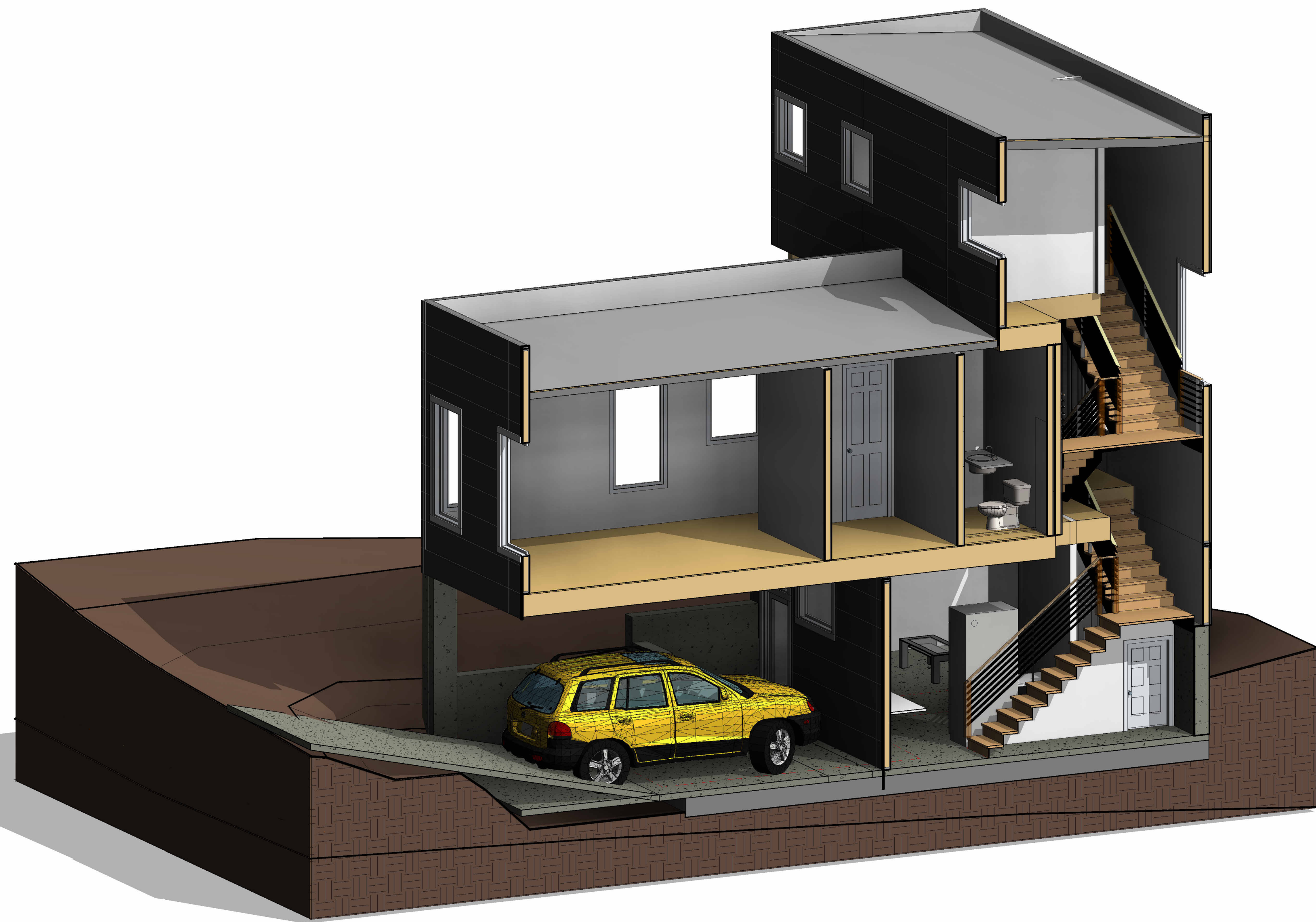
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SITE LAYOUT
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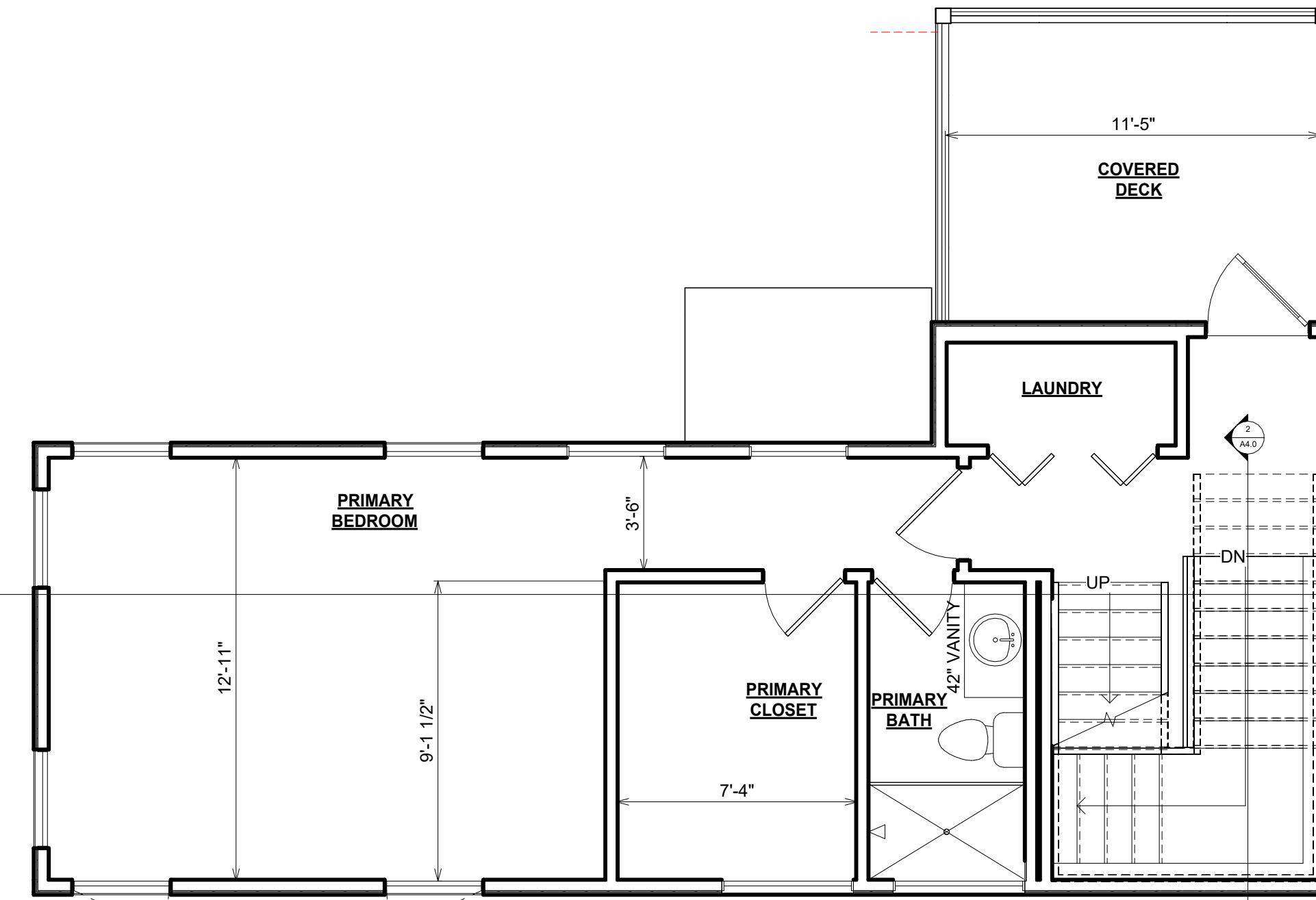


② 3D SECTION

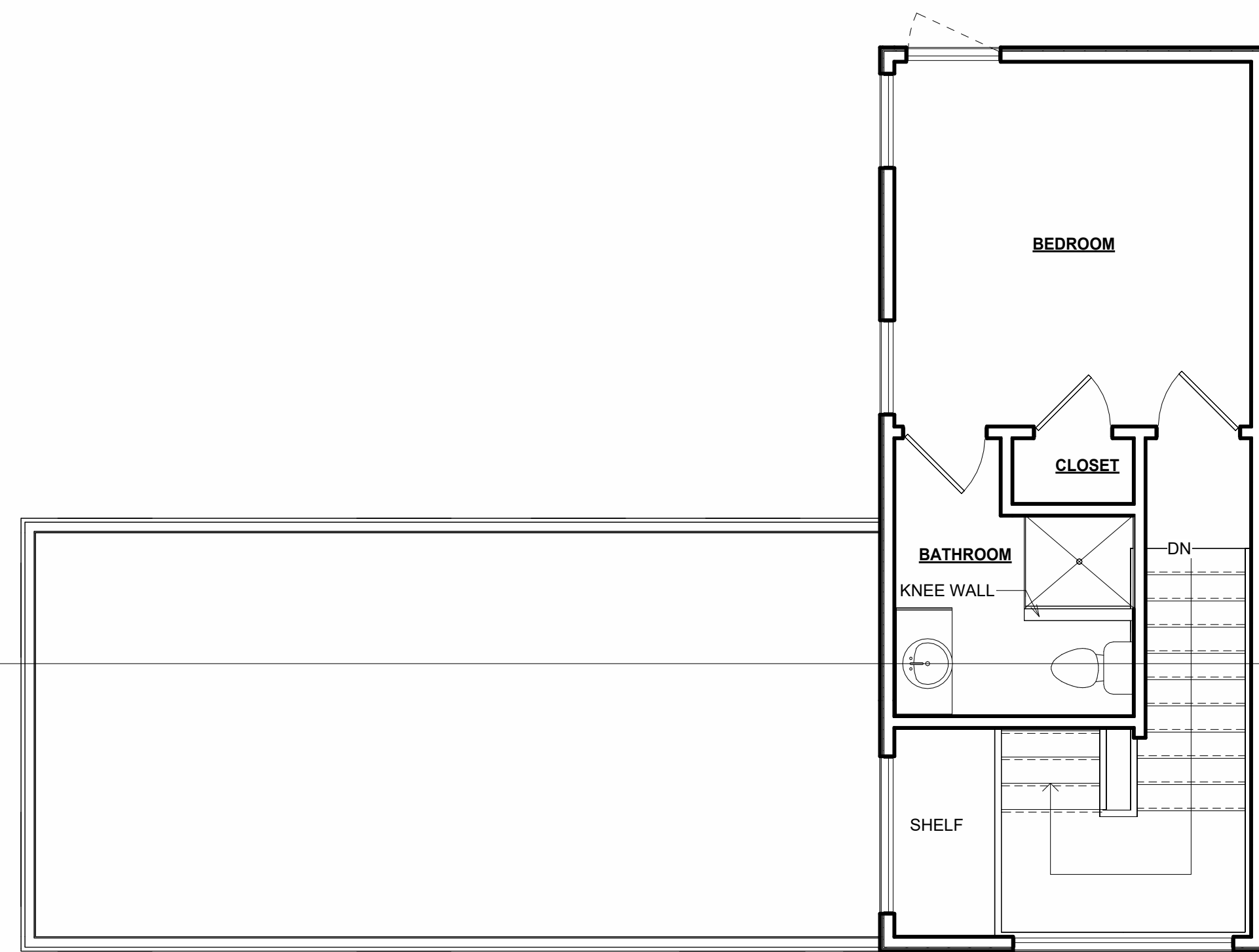
AREA SCHEDULE LOT COVERAGE			
NAME	AREA	Site Area	LOT COVERAGE
BASEMENT FLOOR	488 SF	1809 SF	26%
PARKING PAD	279 SF	1809 SF	15%
TOTAL LOT COVERAGE	747 SF		41%

AREA SCHEDULE F.A.R				
NAME	AREA	Site Area	F.A.R	Above/Below Grade
HEATED TOTAL				
MAIN FLOOR	489 SF	1809 SF	27%	ABOVE GRADE
SECOND FLOOR	236 SF	1809 SF	13%	ABOVE GRADE
	725 SF		40%	

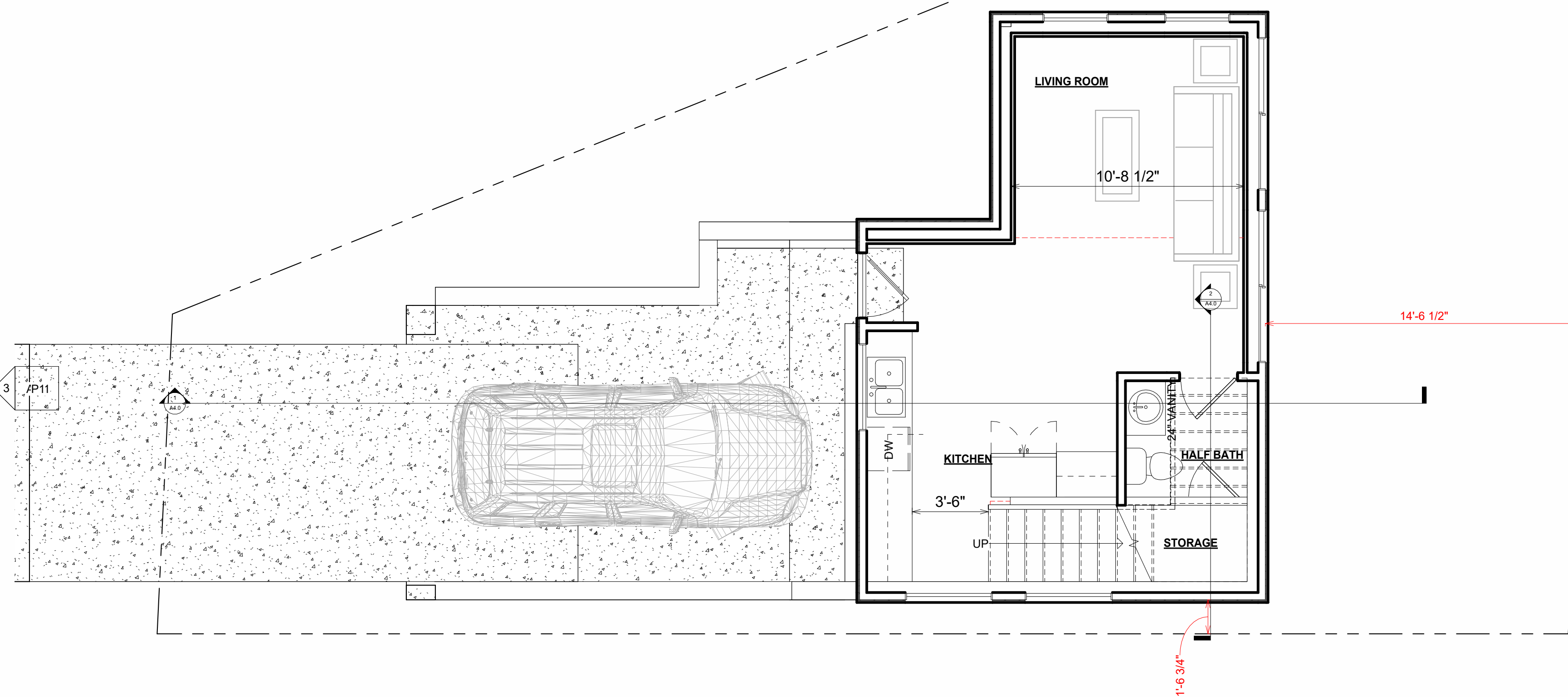
AREA SCHEDULE	
NAME	AREA
HEATED TOTAL	
BASEMENT FLOOR	488 SF
MAIN FLOOR	489 SF
SECOND FLOOR	236 SF
	1193 SF
NON HEATED	
COVERED DECK	116 SF
PARKING PAD	279 SF
	395 SF
TOTAL	1588 SF



③ MAIN FLOOR
1/4" = 1'-0"



④ SECOND FLOOR
1/4" = 1'-0"



① FIRST FLOOR
1/4" = 1'-0"

No.	Description	Date

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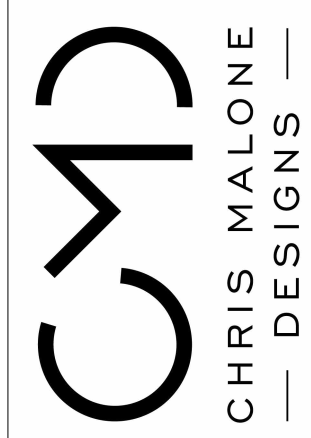
DRAWN BY : CHRISTOPHER J MALONE
DESIGNED BY : CHRIS MALONE DESIGNS

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CONTRACTOR CONTACT:
CHRIS MALONE
DESIGNS LLC

OWNER CONTACT:
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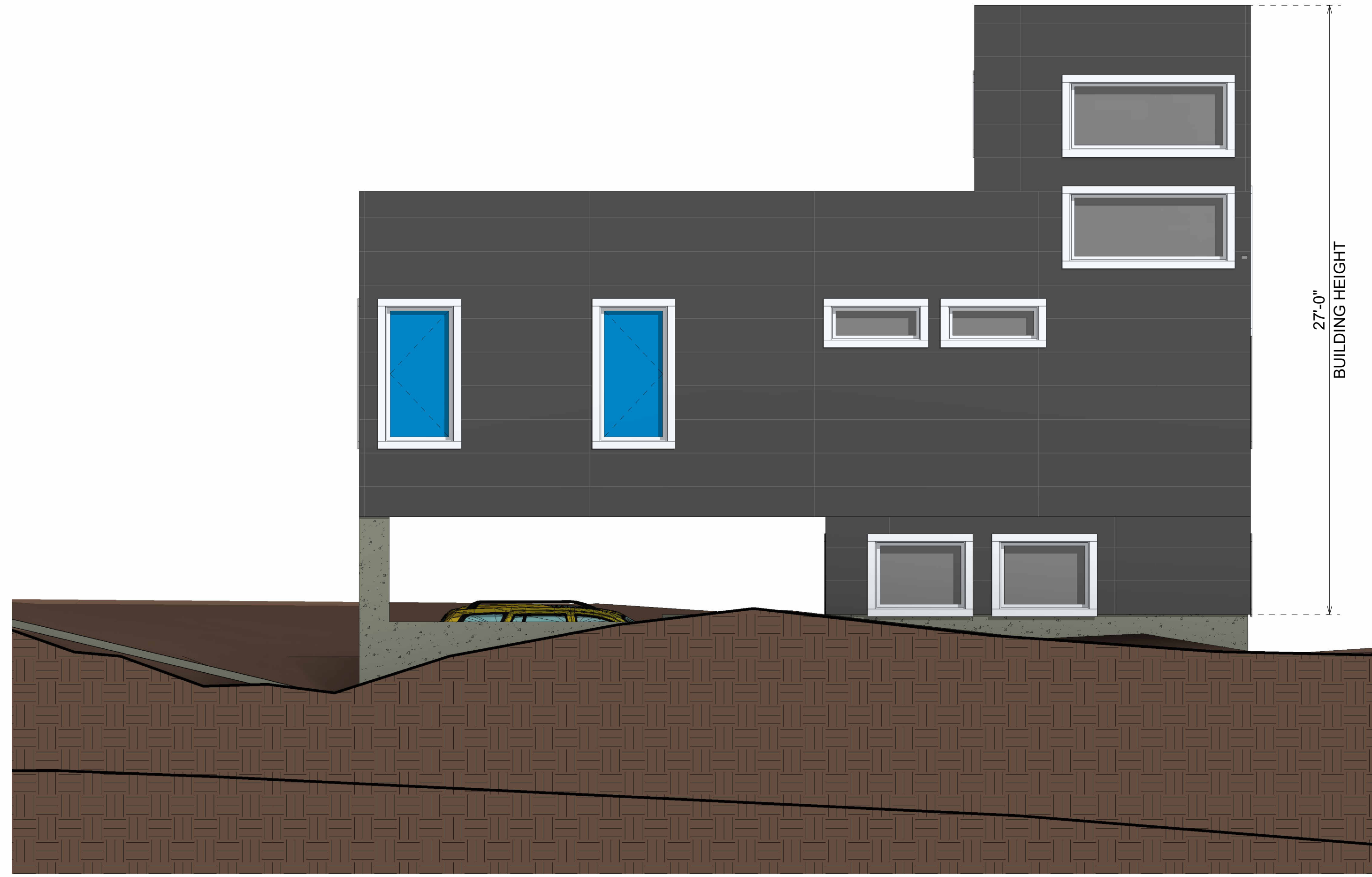
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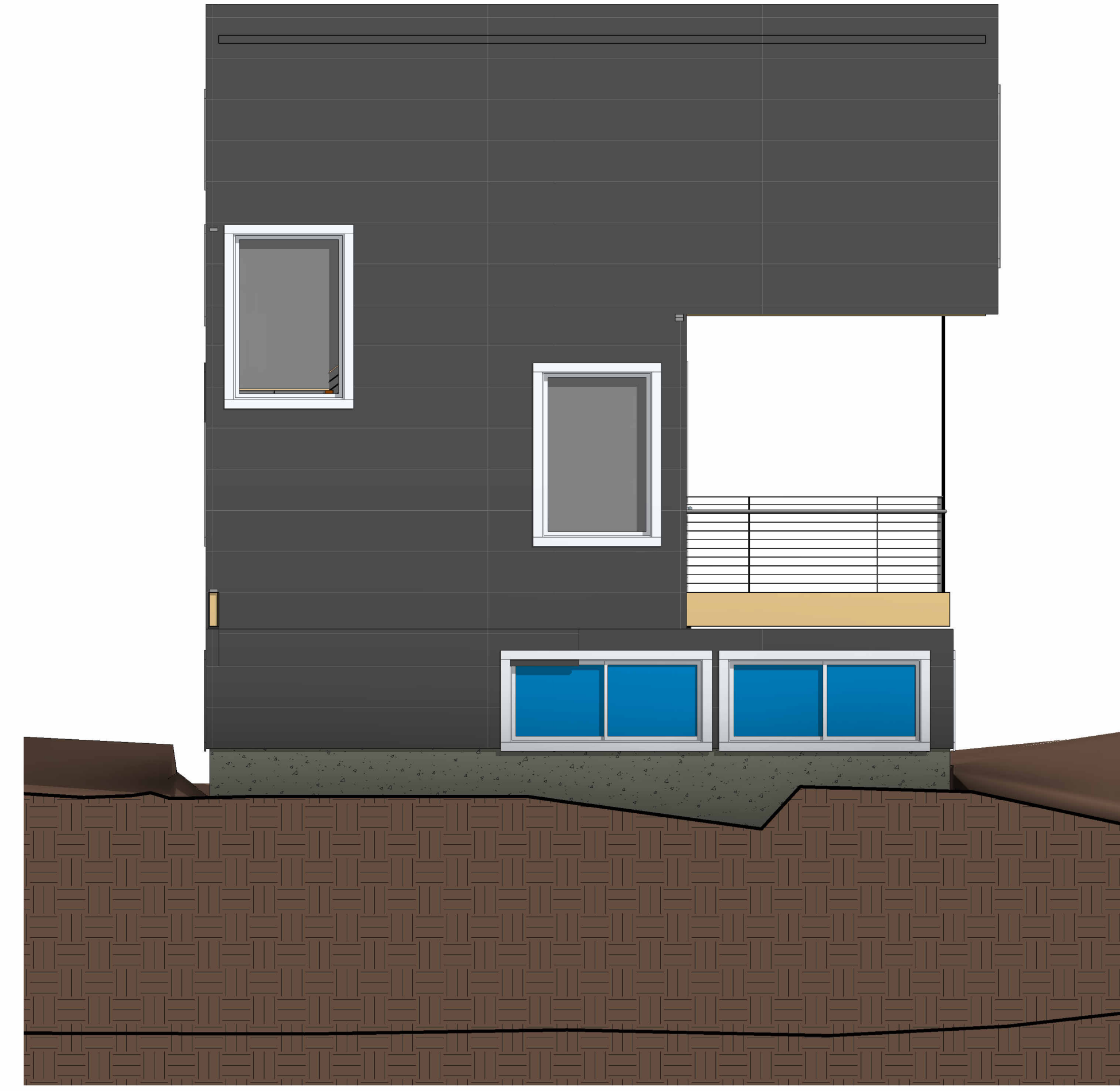
FLOOR PLANS
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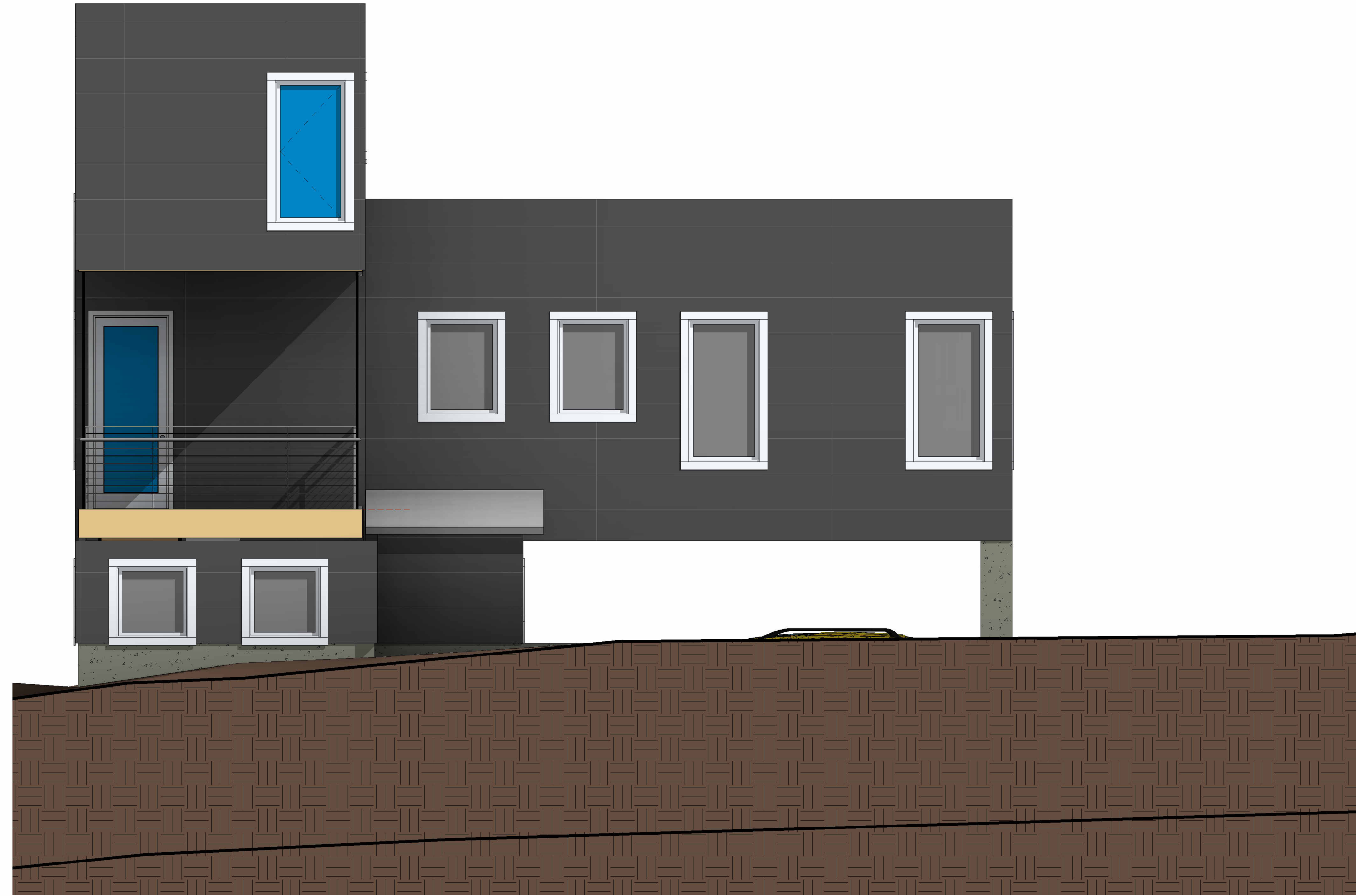
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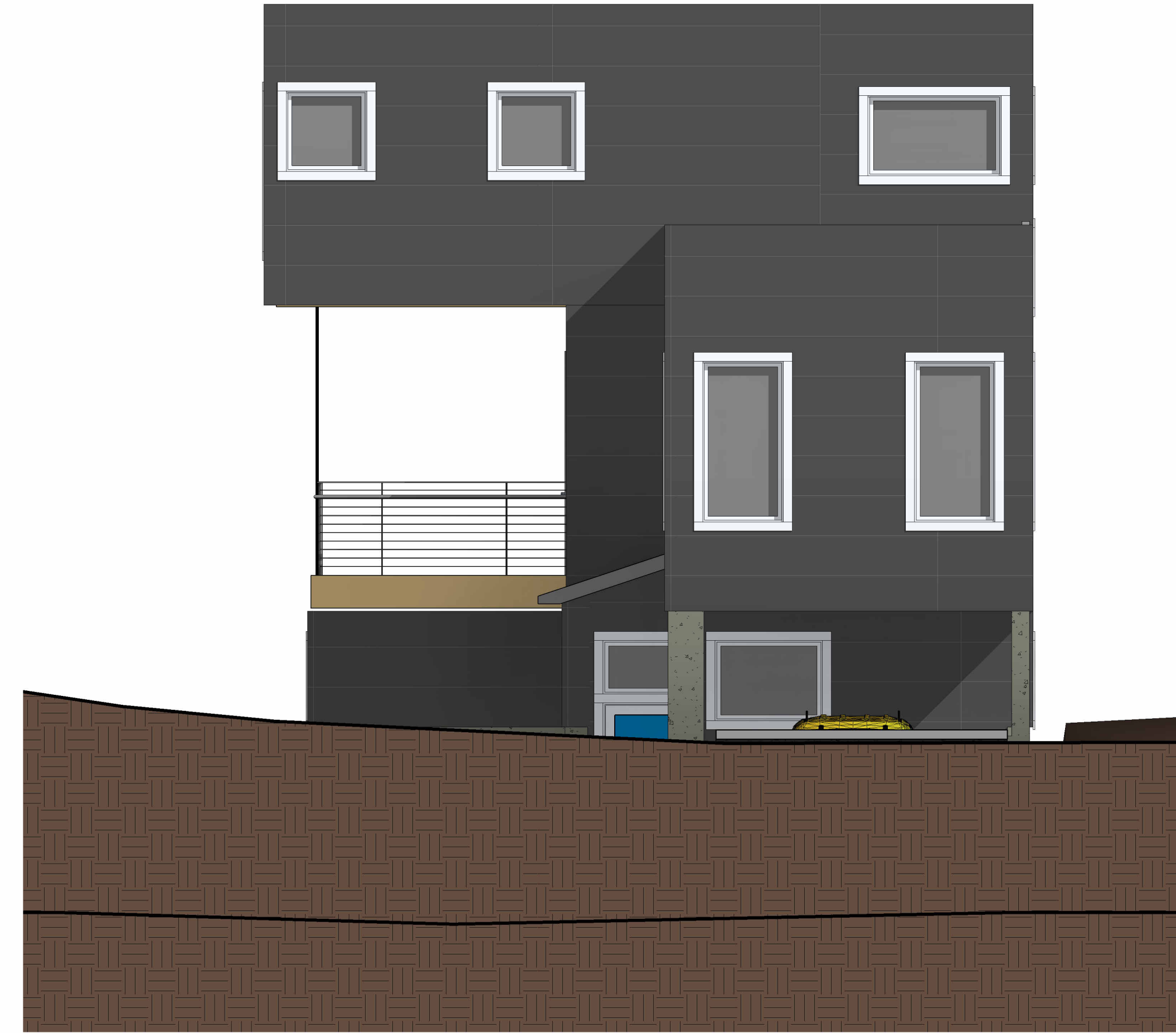
④ RIGHT ELEVATION
1/4" = 1'-0"



③ REAR ELEVATION
1/4" = 1'-0"



② LEFT ELEVATION
1/4" = 1'-0"



① FRONT ELEVATION
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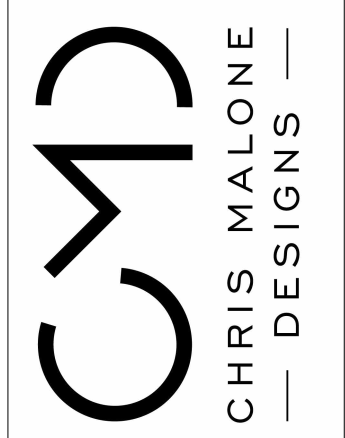
No.	Description	Date

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DESIGNED BY : CHRIS MALONE DESIGNS
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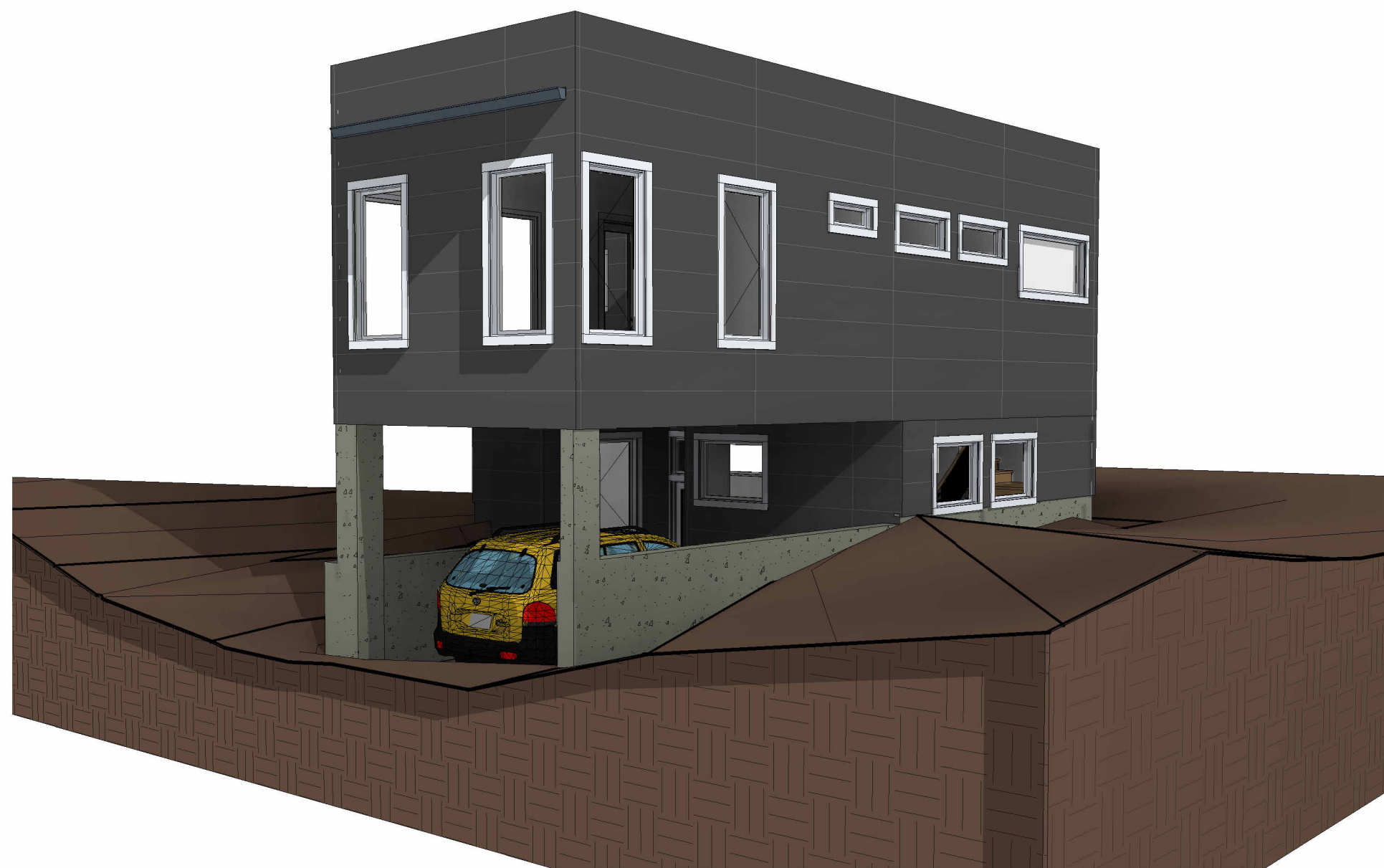
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- PROVIDE INSULATION BAFFLES AT EAVE VENTS BETWEEN RAFTERS.
- ROOF VENTS TO TOTAL MORE THAN 1/300 OF THE ATTIC AREA BEING VENTILATED.

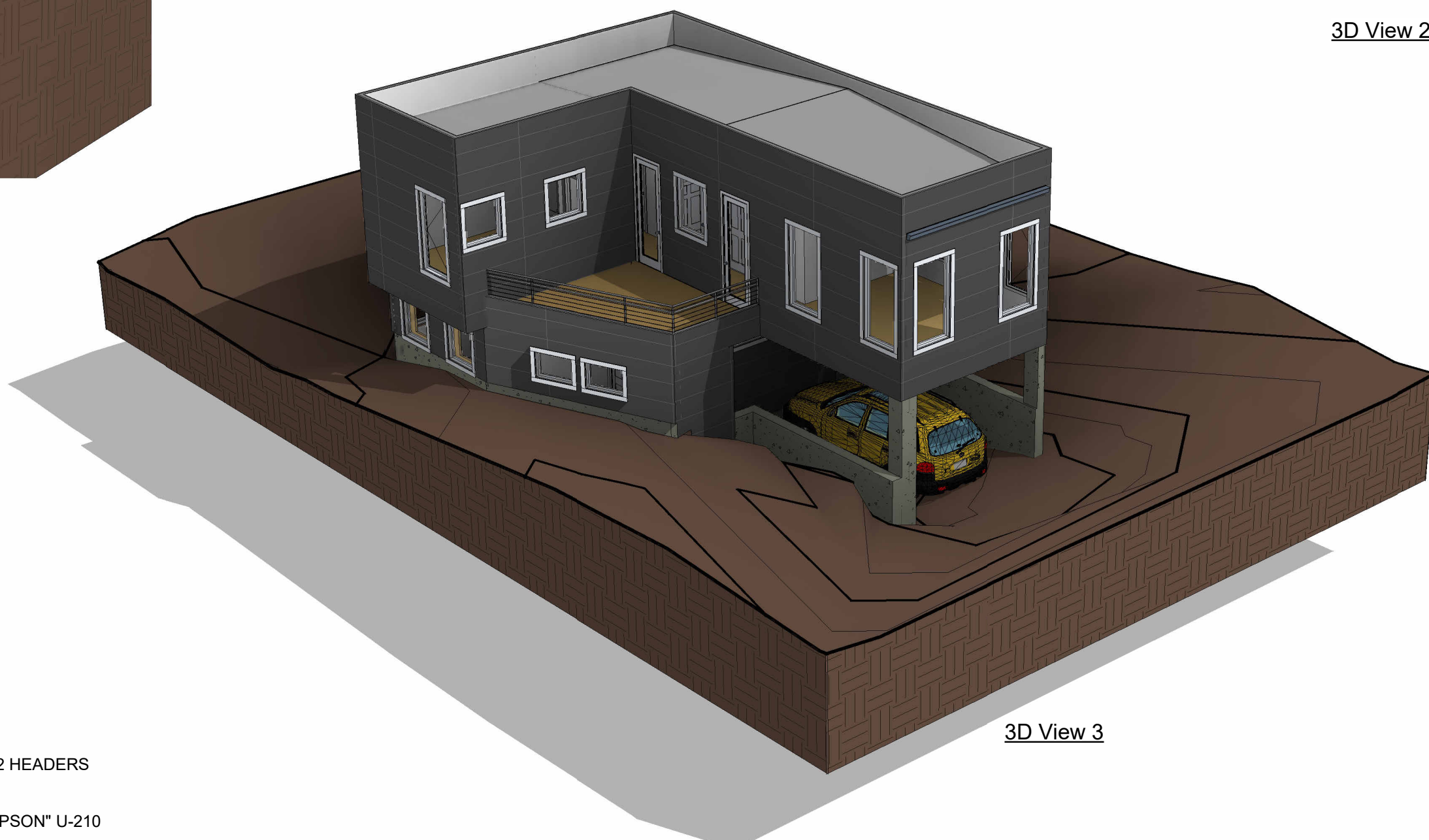
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3D View 1



3D View 2



3D View 3

FRAMING NOTES

- ALL EXTERIOR WALL OPENINGS AND BEARING WALL OPENING TO HAVE (2) 2X12 HEADERS UNLESS OTHERWISE NOTED
- JOISTS THAT ARE ATTACHED TO FLUSH BEAMS ARE TO BE HUNG WITH SUMPSON "LUS210" OR EQUIVALENT.
- PROVIDE DOUBLE OR TRIPLE JOISTS UNDER ALL PARALLEL PARTITIONS OVER PROVIDED FIRE BLOCKING. DRAFTSTOPS & FIRESTOPS AS PER ICC RESIDENTIAL CODE 2006.
- HIP, VALLEY RAFTERS AND RIDGE BOARDS TO ALWAYS BE A BOARD SIZE 2" LARGER THAN RAFTERS.
- PROVIDE COLLAR TIES @ THE UPPER THIRD(1/3) OF VERTICAL DISTANCE BETWEEN RIDGE BOARD AND JOISTS @ 4'-0" O.C.
- PROVIDE "X" BRIDGING @ 8'-0" O.C MAXIMUM PER JOIST.
- PROVIDE SOLID BLOCKING AT MIDHEIGHT FOR ALL WALLS.
- ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED (P.T)
- ANCHOR BOLTS SHALL BE 3/4"x10" @ 48" O.C. AND BE WITHIN 12" FROM THE END OF SILLS AND CORNERS. PROVIDE MINIMUM OF TWO (2) BOLTS PER SILL EMBEDDED 7" INTO CONCRETE OR MASONRY.
- PROVIDE CONTINUOUS PERFORATED EAVE VENTS FOR ATTIC VENTILATION
- PROVIDE CONTINUOUS PERFORATED EAVE VENTS FOR ATTIC VENTILATION
12. LUMBER SPECIES:
 - POSTS, BEAMS, HEADERS, JOISTS AND RAFTERS - NO. 1 OR NO. 2 SOUTHERN YELLOW PINE.
 - BLOCKING, BRIDGING, ETC. - NO. 1 OR NO. 2 SOUTHERN YELLOW PINE
 - SILLS & PLATES - PRESSURE TREATED (P.T)
 - STUDS - NO. 1 OR NO. 2 GRADE PRECUT STUDS (SOUTHERN YELLOW PINE OR DOUGLAS FIR)
 - E. POST & BEAM DECKING - UTILITY GRADE D.F.
 - PLYWOOD SHEATHING - CDX PLYWOOD (SEE PLANS FOR SIZE)
- ALL BASEMENT LEVEL STUDS SHALL BE 9'-0" IN HEIGHT FRAMED WITH PRESSURE - TREATED SINGLE BOTTOM PLATE AND DOUBLE TOP PLATE (2 X MATERIAL).
- ALL MAIN LEVEL STUDS SHALL BE 10'-0" IN HEIGHT FRAMED WITH SINGLE BOTTOM-PLATE AND DOUBLE TOP PLATE (2 X MATERIAL), ALL SECOND FLOOR STUDS SHALL BE 10'-0" IN HEIGHT FRAMED WITH SINGLE BOTTOM-PLATE AND DOUBLE TOP PLATE (2 X MATERIAL)
- ALL EXTERIOR WALL SHALL BE FRAMED WITH 2X4 STUDS @ 16" O.C. MAX. U.N.O
- ALL INTERIOR WALLS SHALL BE FRAMED USING 2X4 STUDS @ 16" O.C. UNLESS OTHERWISE NOTED. ANY NOTED INTERIOR WALLS FRAMED WITH 2X6 STUDS SHALL ALSO BE @ 16" O.C

- ALL EXTERIOR WALL OPENINGS & BEARING WALL OPENINGS TO HAVE 4 X 12 HEADERS UNLESS OTHERWISE INDICATED.
- JOISTS THAT ARE ATTACHED TO FLUSH BEAMS ARE TO BE HUNG WITH "SIMPSON" U-210 OR EQUIV.
- PROVIDE DOUBLE JOISTS UNDER ALL WALLS ABOVE RUNNING PARALLEL TO JOISTS.
- PROVIDE FIREBLOCKING, DRAFTSTOPS & FIRESTOPS AS PER THE U.B.C. SEC. 2516F.
- LUMBER SPECIES:

A. POSTS, BEAMS, HEADERS, JOISTS AND RAFTERS	NO. 2 DOUGLAS FIR
B. SILLS, PLATES, BLOCKING, BRIDGING ETC.	NO. 3 DOUGLAS FIR
C. STUDS	STUD GRADE DF.
D. POST 4 BEAM DECKING	UTILITY GRADE DF.
E. PLYWOOD SHEATHING	1/2" CDX PLY, 32/16
F. GLU-LAM BEAMS	Fb-2400, DRY ADH.
- NAILING SCHEDULE:

JOIST TO SILL OR GIRDER	3-8d	TOE NAIL
BRIDGING TO JOIST	2-8d	TOE NAIL
2" SUBFLOOR TO TO GIRDER	2-16d	BLIND & FACE
SOLE PL. TO JOIST	16d @ 16"	FACE NAIL
TOP PL. TO STUDS	2-16d	END NAIL
STUD TO SOLE PL.	4-8d	TOE NAIL OR
	2-16ed	END NAIL
DOUBLE STUDS	16d @ 16"	FACE NAIL
DOUBLE TOP PL.	16d @ 16"	FACE NAIL
CONTINUOUS HEADER (2 PC.)	16d @ 16"	EDGE NAIL
CLG. JST. TO PL.	3-8d	TOE NAIL
CLG. JST. LAP OVER PL.	3-16d	FACE NAIL
CLG. JST. TO RAFTER	3-8d	TOE NAIL
RAFTER TO TOP PL.	16d @ 24"	FACE NAIL
BUILT-UP CORNER STUDS	8d @ 6"	EDGE NAIL
PLYWOOD SUBFLOOR	8d @ 10"	INTERIOR
PLY WALL 4 ROOF SHEATHING	8d @ 12" @ 6"	EDGE NAIL
TOP PL. AT INTERSECTIONS	2-16d	FACE NAIL
MULTIPLE JOISTS (UP TO 3)	16d @ 15"	FACE NAIL
MULTIPLE JOISTS (OVER 3)	1/2" DIA. BOLTS WAUASHERS	STAGGER NAIL
	EA. SIDE @ 24" O.C.	
1 X 6 SPACED SHEATHING	2-8d	FACE NAIL
- MANUFACTURED TRUSS JOISTS MAY BE SUBSTITUTED FOR 2 X JOISTS WHERE APPLICABLE.

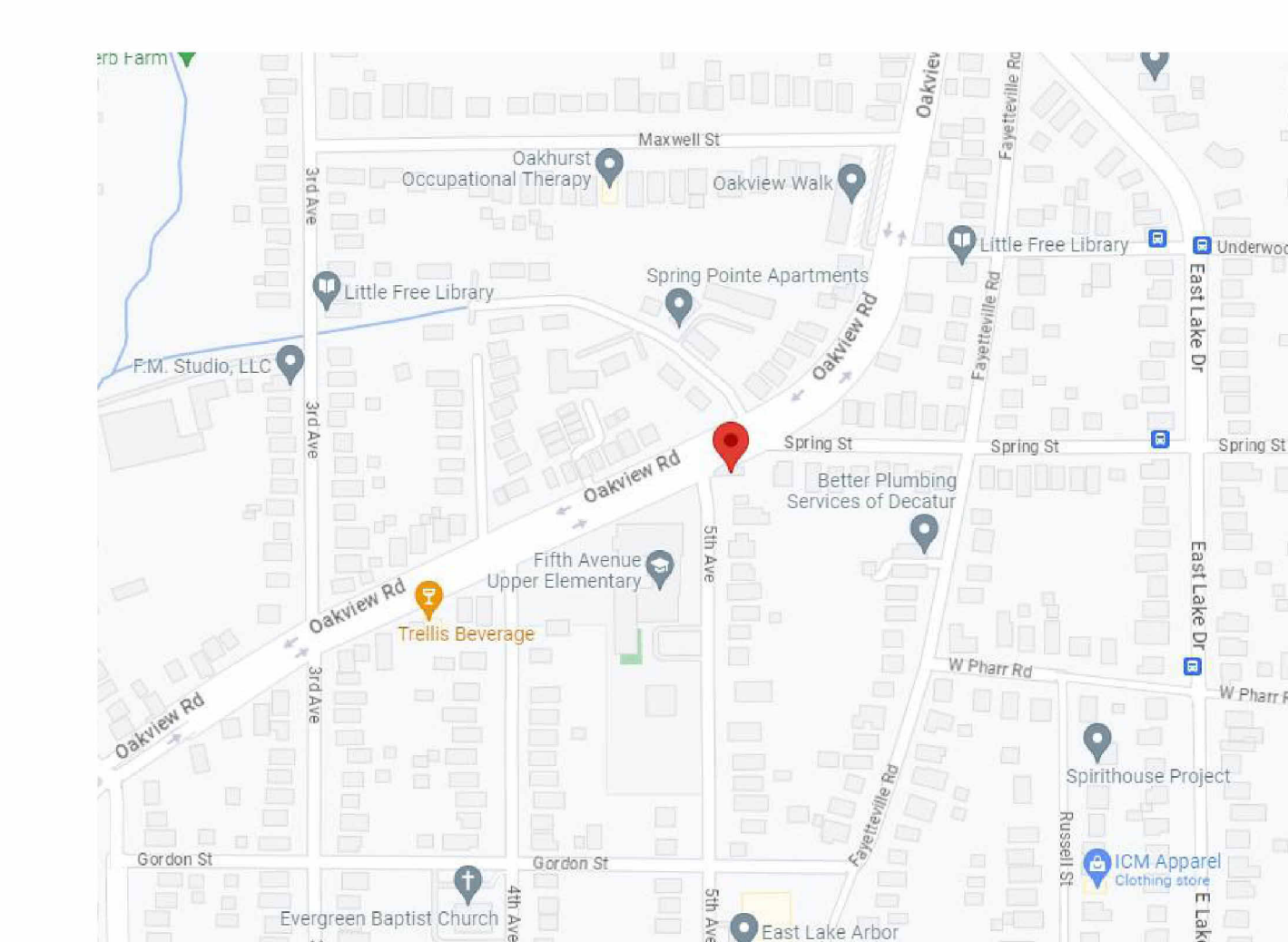
GENERAL NOTES

- TRIM FOR INSIDE AND OUTSIDE TO BE SELECTED BY OWNER
- THE WOOD DECK POSTS MUST RESIST 200LB. FROM ANY DIRECTIONS
- PROVIDE A WIRED DIRECTLY SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR AT EACH FLOOR/IN EACH BEDROOM AND AT HALLWAY OUTSIDE BEDROOM
- PROVIDE GFI OUTLETS BY ALL SINKS, AND WET AREAS
- 1/150 VENTILATION MIN. AREA FOR ATTIC AND UNDER FLOOR (WHICHEVER APPLIES) IS REQUIRED
- A FAN IS REQUIRED IN ALL WET AREA ROOMS IF AN OPERABLE WINDOW IS NOT IN THE ROOM
- IN ALL HABITABLE ROOMS, 8% MIN. LIGHT AND 4% MIN. VENTILATION AREA IS REQUIRED
- PROVIDE DOUBLE FLOOR JOISTS UNDER ALL PARALLEL PARTITION WALLS AND SOLID CONTINUOUS 2X SOLID BLOCKING UNDER ALL PERPENDICULAR PARTITION WALLS. LOAD BEARING WALLS NEED DESIGNED BEAM OR WALL UNDER THEM. (SEE STRUCTURAL FOR FRAMING PLAN)
- PRESSURE TREATED WOOD IS REQUIRED @ ALL CONTACT WITH CONCRETE AND EXPOSED TO WEATHERING CONDITIONS. DECAY RESISTANT WOOD INCLUDE REDWOOD BLACK LOCUST AND CEDARS
- PROVIDE 34"-38" HEIGHT HANDRAIL @ ALL STAIRS IF 4 OR MORE RISERS ARE PRESENT (SEE ELEVATIONS)
- PROVIDE 1/2" MIN. SHEATHING (4" WIDE IN. PLATE TO PLATE) OR 1X4 LET-IN OR APPROVED METAL STRAPS WALL BRACING REQUIRED FOR STRENGTHENING WALLS FOR MIN. SHEAR. THIS IS TO BE ACCOMPLISHED AT 25' ON CENTER AND ALL CORNERS, AT ALL LEVELS WITH WOOD FRAMING. THE LET-INS SHALL BE AS CLOSE TO 45 DEG. AS POSSIBLE
- TEMPERED GLASS IS REQUIRED WHEN SILL IS LESS THAN 18" ABOVE THE FINISHED FLOOR, 24" FROM THE EXTERIOR DOOR OPENING AND WITH 60" VERTICAL ABOVE TUB OR SHOWER ENCLOSURE. ALL GLASS IN DOORS TO BE TEMPERED (SEE FLOOR PLAN)
- PROVIDE 6'-9" MIN. HEAD CLEARANCE ABOVE STAIR AT ANY POINT.
- PROVIDE 36" MIN. HEIGHT RAILING @ ALL BALCONY, PORCH, DECK OR SURFACE WHERE THE DIFFERENCE IN THE HEIGHT TO THE GROUND IS 30" OR HIGHER (SEE ELEVATION)
- PROVIDE 3'-0" MIN. ACCESS WIDTH THROUGHOUT THE STRUCTURE INCLUDING STAIRS, HALLWAY, ETC.
- PROVIDE PULL DOWN STAIRS TO ATTIC. (MIN. 22' X 30' MIN. ATTIC ACCESS)
- PROVIDE 20'X22' MIN. OPENING SIZE WITH A 4'4" MAX WALL HEIGHT REQUIRED AT ONE WINDOW, IN EACH BEDROOM FOR EMERGENCY EGRESS.
- PROVIDE 7 3/4" MAX RISER HEIGHT AND 10" MIN. TREAD WIDTH AT ALL INTERIOR STAIRS
- 1/2" GYP. BD. REQUIRED UNDER ALL STAIRS THAT USE THE AREA AS HABITABLE ROOM. (SEE PLAN AT BASEMENT)
- DUAL GLAZING IS REQUIRED IF THE GLAZING AREA EXCEEDS 10% OF THE FLOOR AREA AND THE R-13 WALL INSULATION IS REQUIRED IF GLAZING AREA EXCEEDS 14% OF THE FLOOR AREA
- A LIGHT GAGE MECHANICAL CONNECTIONS IS REQUIRED AT THE BOTTOM OF ALL POST OR BUILT-UP POSTS WHEN IT SUPPORTS A POST, BEAM, FLOOR OR ROOF STRUCTURE ABOVE THAT CAN RESTRAIN POST FROM ANY MOVEMENT
- ALL EXISTING CONDITIONS AND DIMENSIONS TO BE VERIFIED BY CONTRACTOR
- INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDED SPECIFICATIONS
- THE FINAL GRADING OF THE LOT MUST BE GRADED SO ALL SURFACE WATER DRAINS AWAY FROM THE STRUCTURES. PROVIDE DRAINAGE UNDER ALL PARTS OF THE BUILDING NOT INCLUDED IN THE BASEMENT OR CRAWL SPACES.
- CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS, EXISTING CONDITIONS AND DIMENSIONS. CONTACT THE ARCHITECT IF THERE ARE CONFLICTS
- CONTRACTOR SHALL VERIFY ANY CONFLICTS WITH LOCATIONS OR MECHANICAL, ELECTRICAL, AND PLUMBING AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE PROVIDED.

AREA SCHEDULE		SHEET LIST	
NAME	AREA	SHEET NUMBER	SHEET NAME
HEATED TOTAL		A0.0	COVER SHEET
FIRST FLOOR	540 SF	A0.1	EXISTING SURVEY
SECOND FLOOR	723 SF	A0.2	SITE LAYOUT
	1263 SF	A1.0	FOUNDATION AND ROOF PLAN
NON HEATED		A1.1	FLOOR PLANS
PARKING PAD	311 SF	A2.0	EXTERIOR ELEVATIONS
ROOF TOP TERRACE	147 SF	A2.1	EXTERIOR ELEVATIONS
	458 SF	A3.0	ROOF PLAN
TOTAL	1721 SF	A4.0	SECTIONS
		A5.1	WALL DETAILS
		A5.2	DETAILS
		A5.3	FRAMING PLANS
		A5.4	SPAN TABLES
		A5.5	SPAN CHARTS
		A5.6	LOAD CALCS

AREA SCHEDULE & LOT COVERAGE			
NAME	AREA	Site Area	LOT COVERAGE
FIRST FLOOR	540 SF	1809 SF	30%
PARKING PAD	311 SF	1809 SF	17%
TOTAL LOT COVERAGE	851 SF		47%

AREA SCHEDULE F.A.R				
NAME	AREA	Site Area	F.A.R	Above/Below Grade
HEATED TOTAL				
SECOND FLOOR	723 SF	1809 SF	40%	ABOVE GRADE
	723 SF		40%	



VICINITY MAP

Option 3

No.	Description	Date

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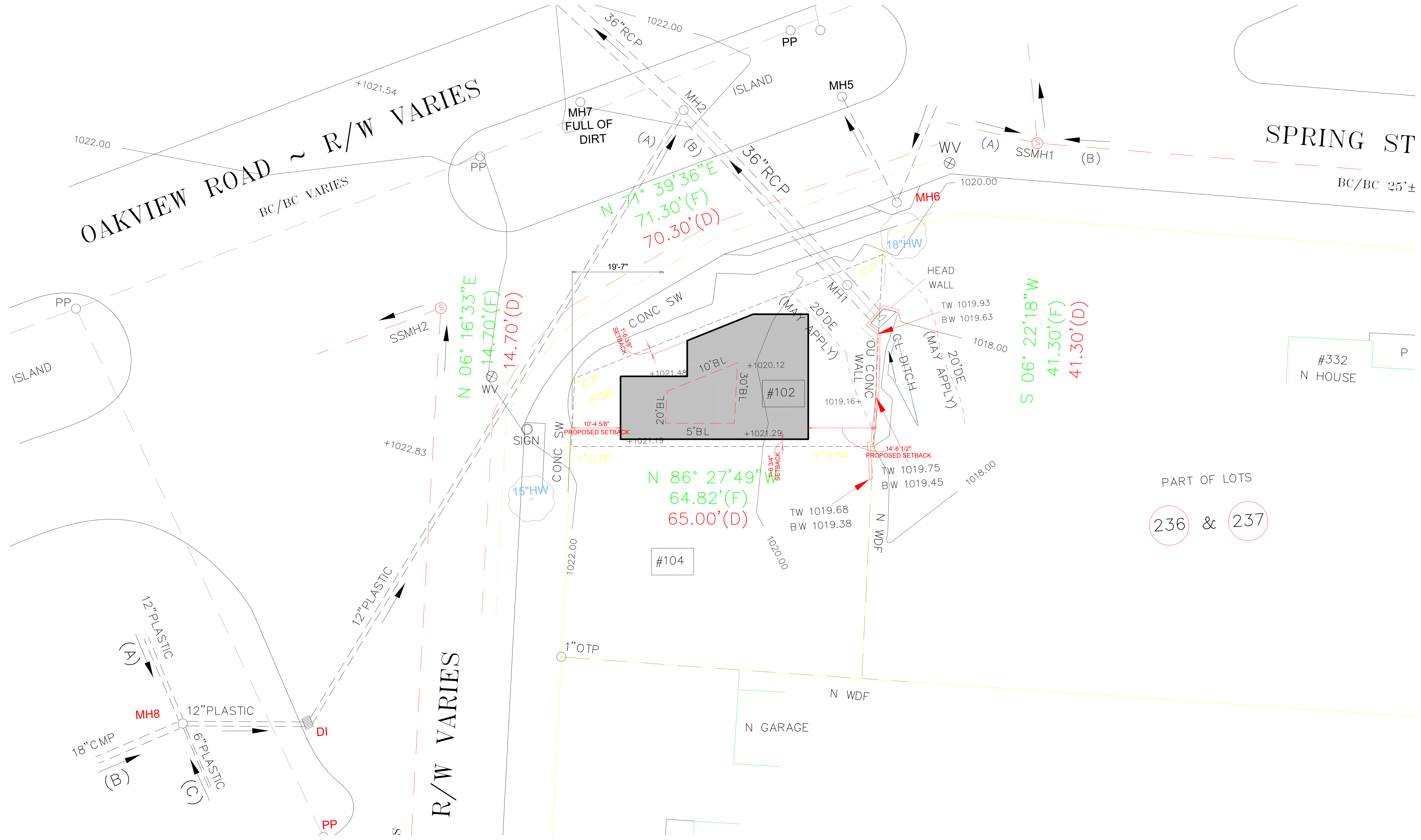
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 DESIGNED BY: CHRIS MALONE DESIGNS

11/20/2023 6:54:31 AM

CONTRACTOR CONTACT:
 CHRIS MALONE
 DESIGNS LLC

OWNER CONTACT:
 DEREK
 NEW CONSTRUCTION

PLAN NAME
 PROJECT NUMBER : 2021-002
 PROJECT ADDRESS:
 102 5TH AVE DECATUR
 GA 30030



① SITE LAYOUT
1" = 10'-0"

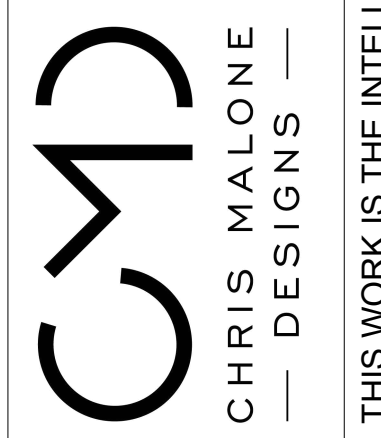
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DESIGNED BY : CHRIS MALONE DESIGNS
11/20/2023 6:54:32 AM

CONTRACTOR CONTACT:
CHRIS MALONE
DESIGNS LLC

OWNER CONTACT:
DEREK
NEW CONSTRUCTION

PLAN NAME
PROJECT NUMBER : 2021-002
PROJECT ADDRESS:
102 5TH AVE DECATUR
GA 30030



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SITE LAYOUT
A0.2
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AREA SCHEDULE LOT COVERAGE			
NAME	AREA	Site Area	LOT COVERAGE
FIRST FLOOR	540 SF	1809 SF	30%
PARKING PAD	311 SF	1809 SF	17%
TOTAL LOT COVERAGE	851 SF		47%

AREA SCHEDULE F.A.R				
NAME	AREA	Site Area	F.A.R	Above/Below Grade
HEATED TOTAL				
SECOND FLOOR	723 SF	1809 SF	40%	ABOVE GRADE
	723 SF		40%	

AREA SCHEDULE	
NAME	AREA
HEATED TOTAL	
FIRST FLOOR	540 SF
SECOND FLOOR	723 SF
	1263 SF
NON HEATED	
PARKING PAD	311 SF
ROOF TOP TERRACE	147 SF
	458 SF
TOTAL	1721 SF

No.	Description	Date

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DESIGNED BY : CHRIS MALONE DESIGNS
11/20/2023 6:54:45 AM

CONTRACTOR CONTACT:
CHRIS MALONE
DESIGNS LLC

OWNER CONTACT:
DEREK
NEW CONSTRUCTION

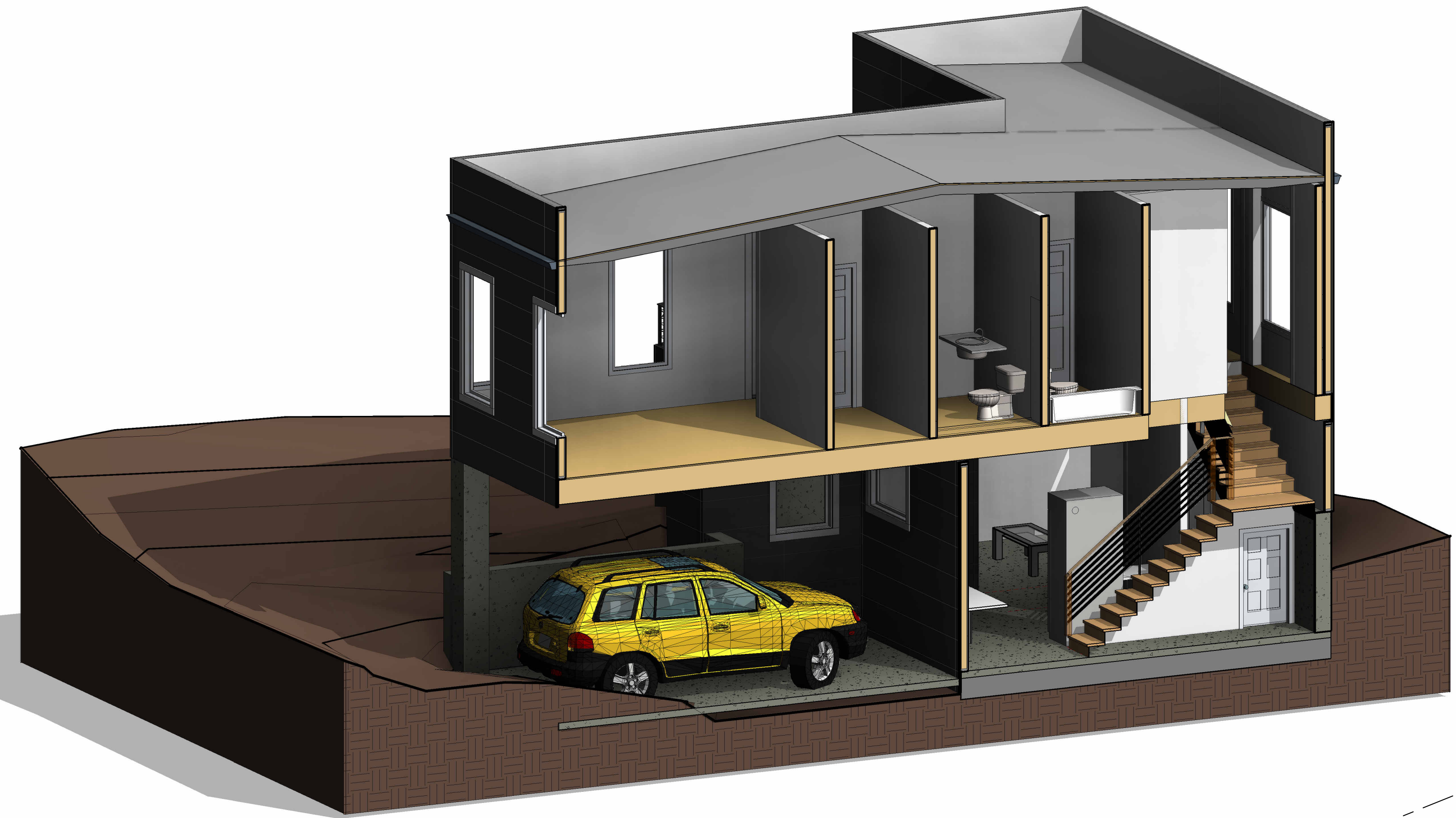
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PROJECT NUMBER : 2021-002
PROJECT ADDRESS:
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CMD
CHRIS MALONE
DESIGNS

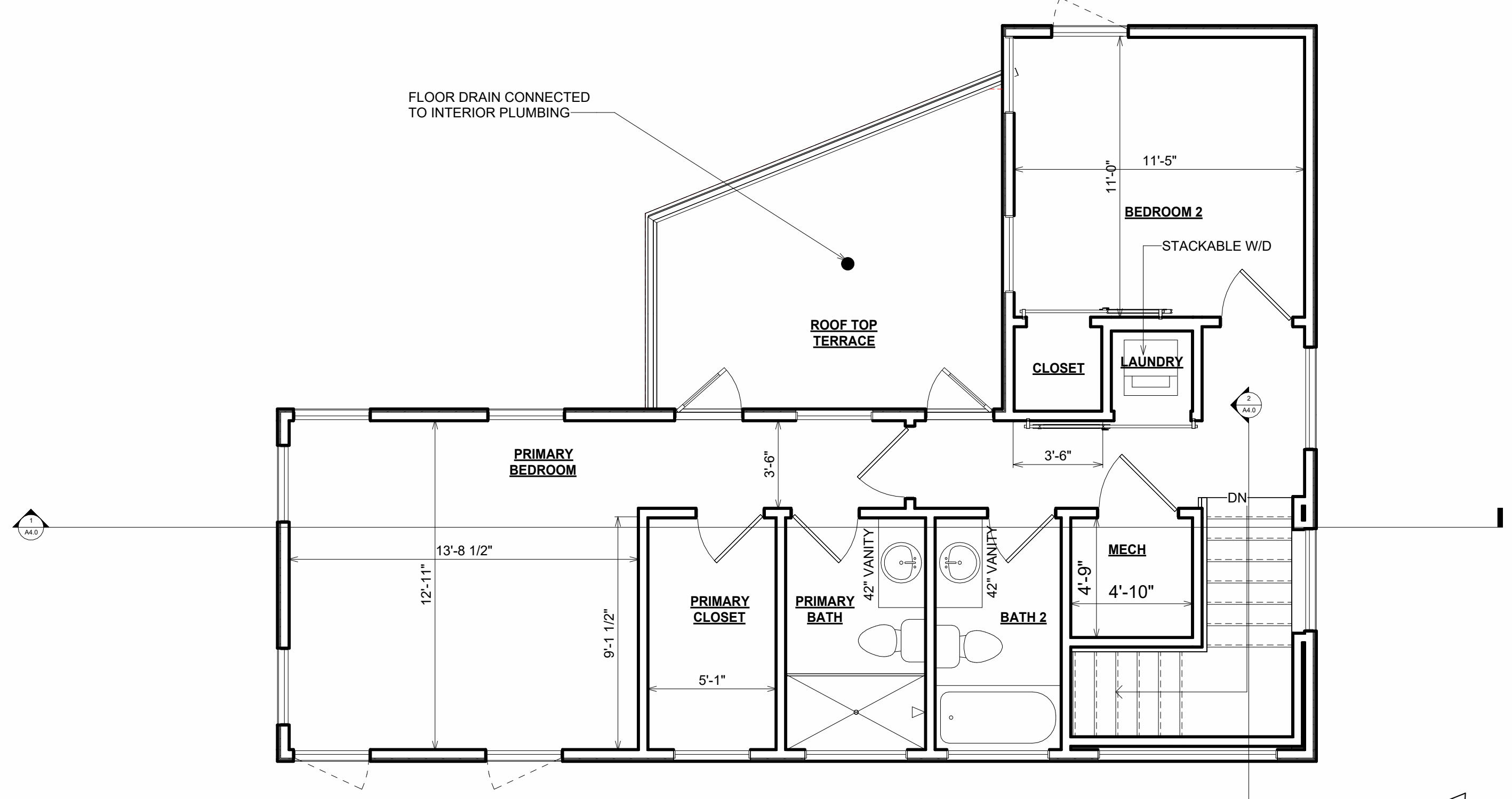
FLOOR PLANS
A1.1
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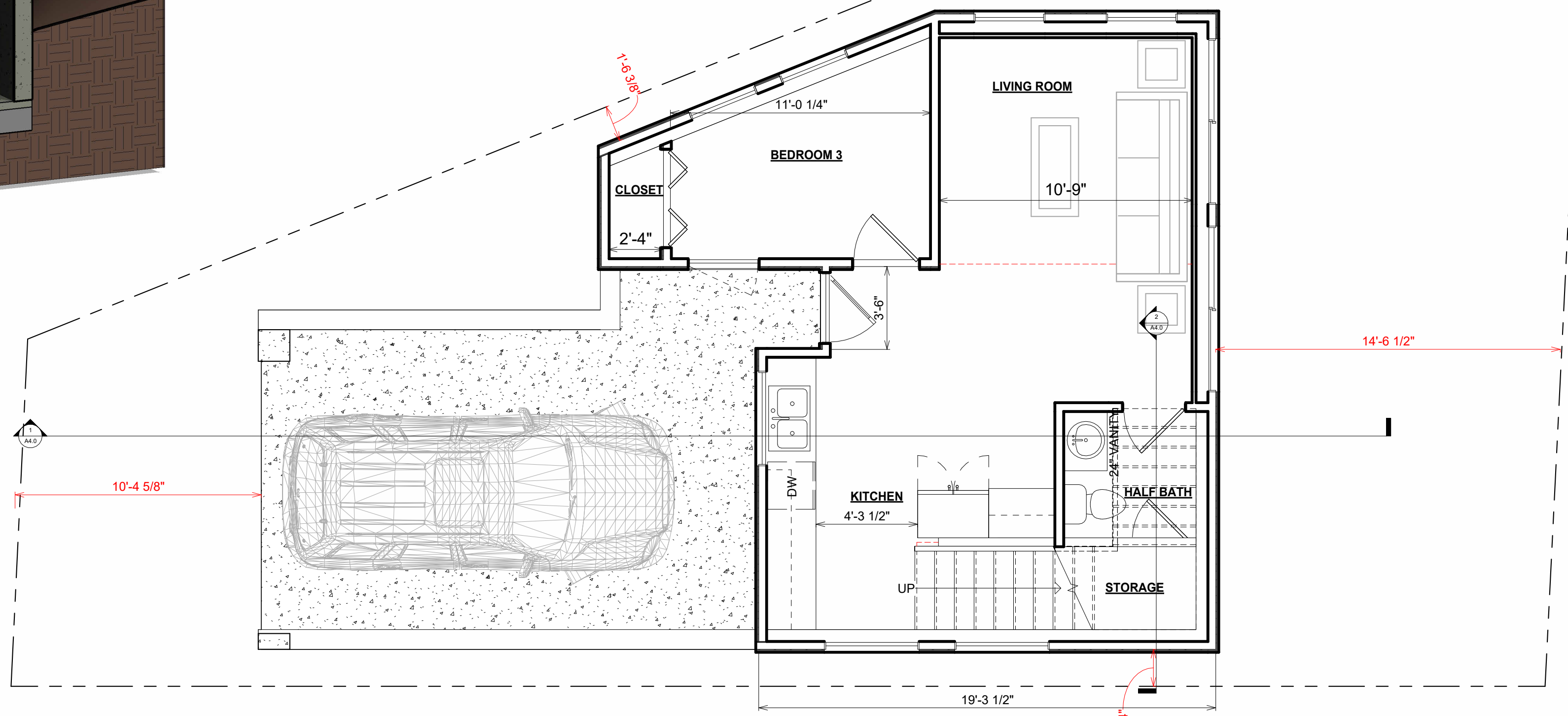
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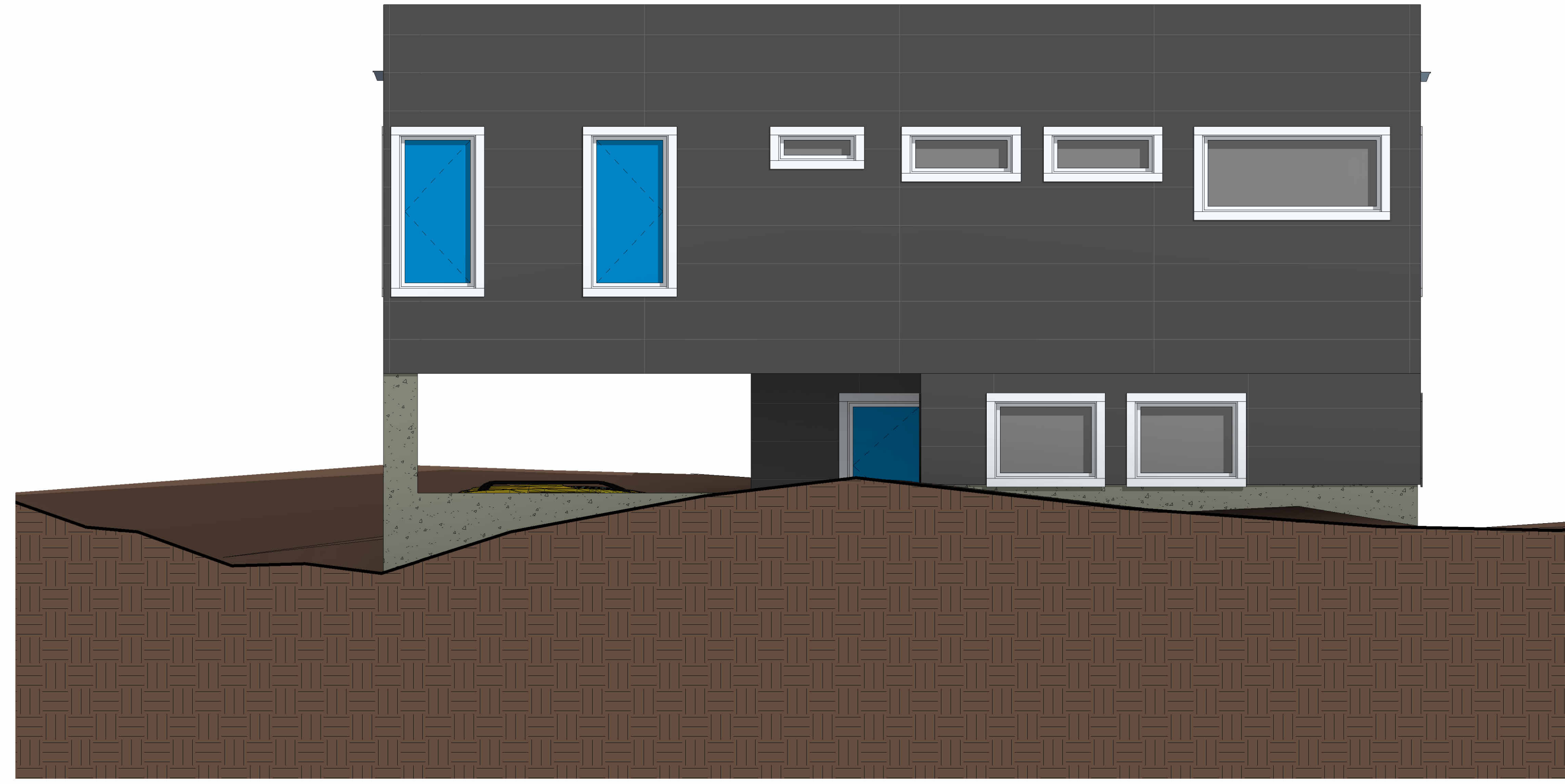
② 3D SECTION



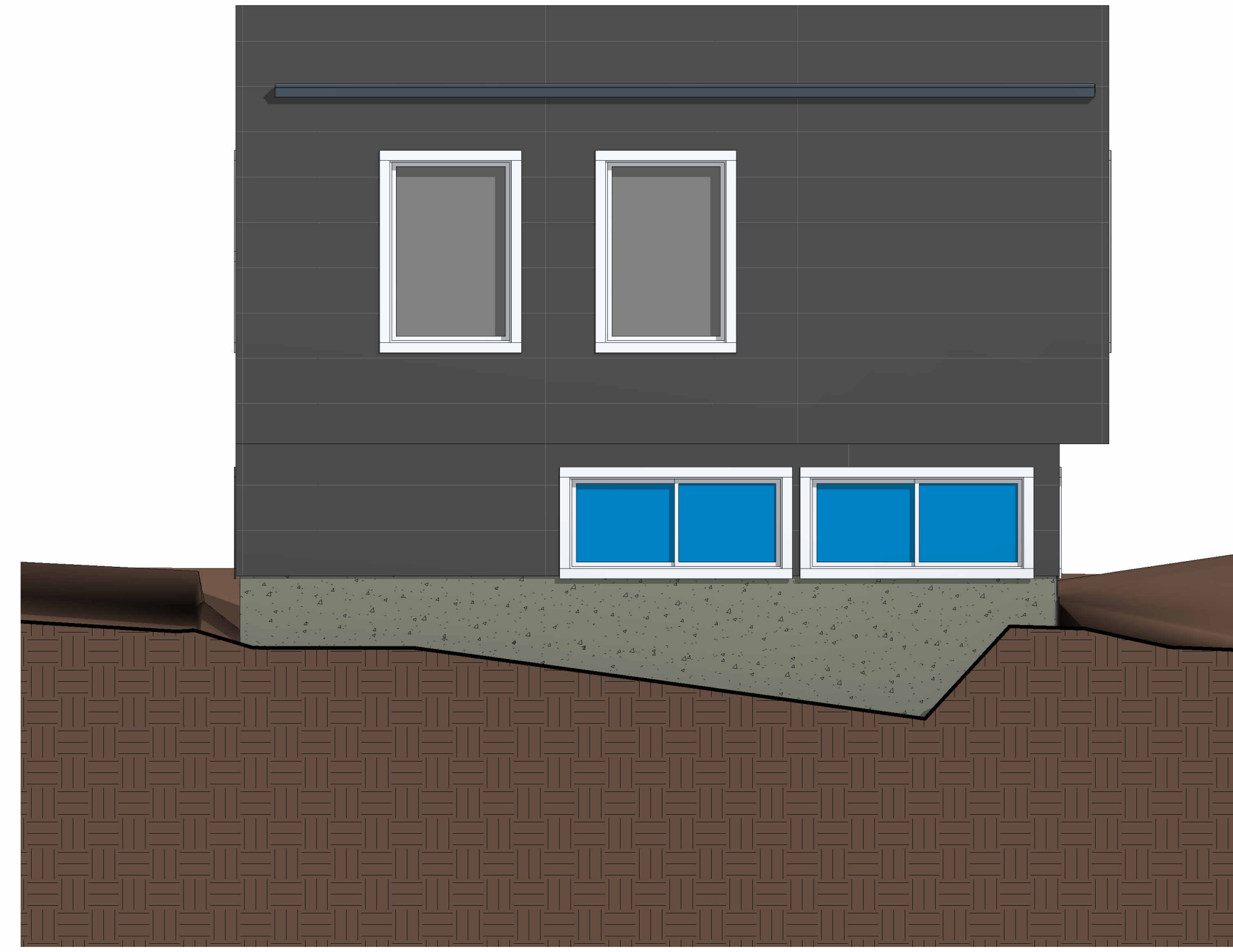
③ SECOND FLOOR
1/4" = 1'-0"



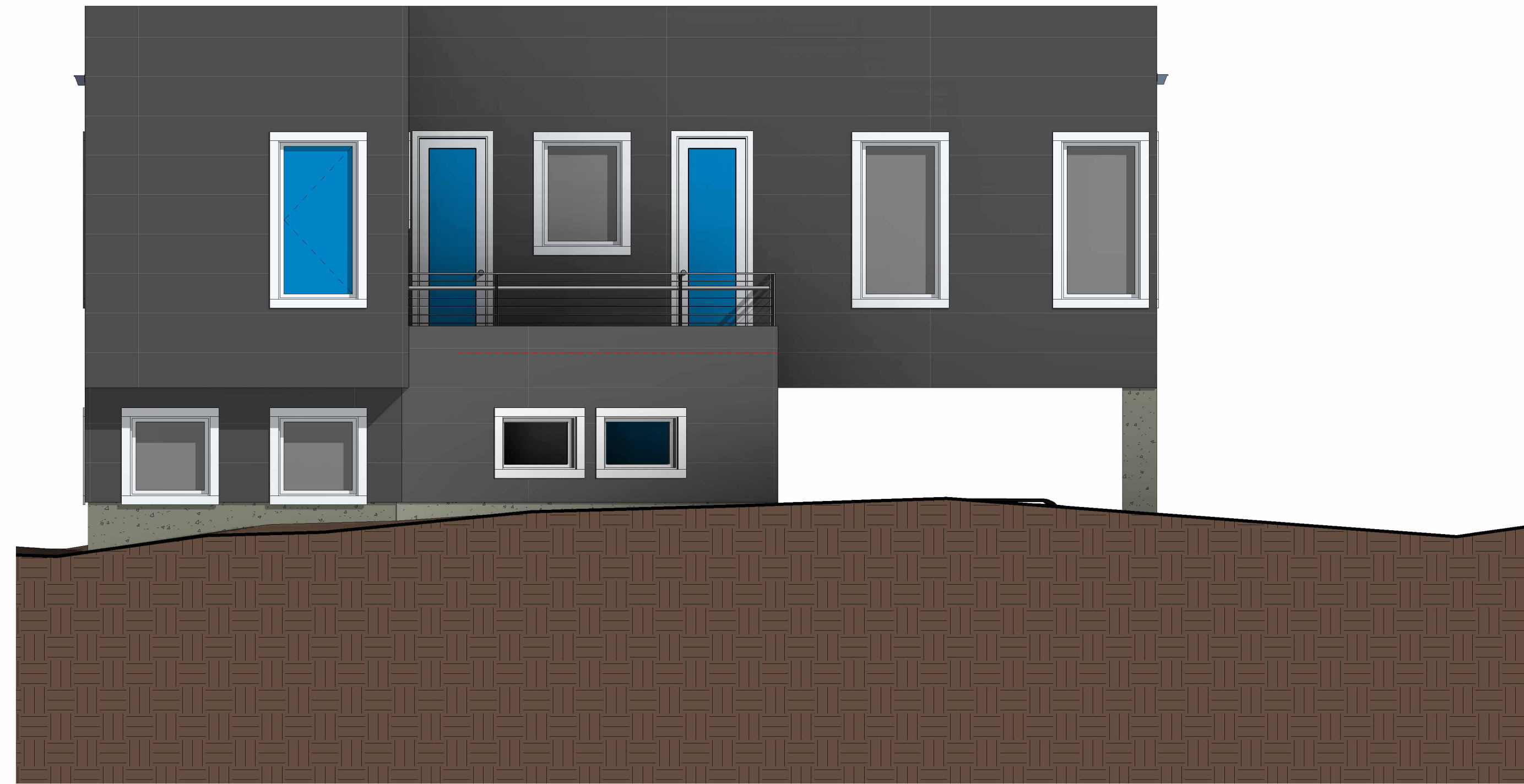
① FIRST FLOOR
1/4" = 1'-0"



④ RIGHT ELEVATION
1/4" = 1'-0"



③ REAR ELEVATION
1/4" = 1'-0"



② LEFT ELEVATION
1/4" = 1'-0"



① FRONT ELEVATION Copy 1
1/4" = 1'-0"

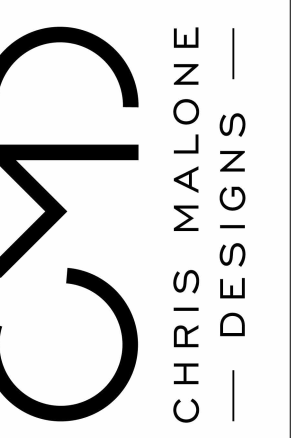
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CONTRACTOR CONTACT:
CHRIS MALONE
DESIGNS LLC

OWNER CONTACT:
DEREK
NEW CONSTRUCTION

PLAN NAME
PROJECT NUMBER : 2021-002
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ELEVATIONS
P1

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