

# VARIANCE APPLICATION

## Planning & Zoning

2635 Talley Street  
Decatur, GA 30030  
Phone 404-377-6198  
Fax 404-378-5054



Attach a survey of the property drawn to scale and showing the following information. Please provide one full-size copy of all plans, as well as one copy of all plans in an 8 1/2" x 11" format. It is helpful to show floor plans and elevations of proposed building improvements, as well as a letter of support from adjacent property owners. If the applicant is not the current property owner, provide a notarized authorization for this application from the current property owner. See the stream variance submittal checklist for additional requirements for stream variances.

1. all property lines with dimensions
2. location of buildings and other structures, creeks and easements referenced to property lines
3. north arrow, scale, lot and block numbers and land lot
4. topographic and drainage information if pertinent

Address of property 208 Olympic Place Decatur, GA 30030  
Name of applicant Artis Lisbon Phone 470-487-5501  
Address 208 Olympic Place City/state/ZIP Decatur, GA 30030  
Email trottigiant@icloud.com  
Name of property owner Artis Lisbon Phone 470-487-5501  
Address 208 Olympic Place City/state/ZIP Decatur, GA 30030  
Current zoning of property R-60

Please answer all of the following questions on a separate sheet.

1. What is the variance requested? What code requirement do you wish to vary from?
2. What are the special conditions relating to the specific piece of property in question (narrowness, shallowness, shape, topography, or other extraordinary and exceptional situation)?
3. Explain how the application of the zoning ordinance to this specific piece of property results in peculiar, extraordinary and practical difficulties?
4. Are the circumstances or conditions applying to the building or land in question peculiar to the premises? Do they apply generally to other land or buildings in the vicinity?
5. Explain why the granting of this variance is necessary for the preservation and enjoyment of a property right and does not merely serve as a convenience to the applicant.
6. Did the condition for which the variance is sought result from an action by the applicant?
7. Explain how the variance will affect the supply of light and air to adjacent property, the traffic on public streets, the danger of fire, the public safety and established property values.
8. Explain how the granting of the variance will be in harmony with the general purpose and intent of the Decatur land use plan.
9. Will the granting of the variance allow a structure or use in a district restricted against such structure or use?

I hereby certify that the above and attached statements and documents are true to the best of my knowledge and belief.

Applicant signature

Artis Lisbon

Date

9-28-2023



October 9, 2022  
City of Decatur Planning & Zoning  
2635 Talley Street  
Decatur, GA 30030

## LETTER OF APPLICATION

The applicant, Artis Lisbon, is seeking approval for variance to the stream buffer regulations at the property located at 208 Olympic Place (to be referred to as the "subject property") for the development of a single family residential home. The total acreage of the property is 0.36 acres. The "subject property" is presently zoned Single Family Residential (R-60). The intent of this application is to petition for an encroachment into the 75' impervious buffer & 50' undisturbed buffer.

The applicant as well as the proposed design will meet/satisfy all of the criteria for a stream buffer variance as set forth in the City of Decatur Code of Ordinances, Section 9.2.5.

1. What is the variance requested? What code requirement do you wish to vary from?

The applicant is requesting a stream buffer variance into the 75' impervious buffer & the 50' undisturbed buffer for the purposes of building his personal home. The variance is required based on the City of Decatur Code of Ordinances, Section 9.2.5.
2. What are the special conditions relating to the specific piece of property in question (narrowness, shallowness, shape, topography, or other extraordinary and exceptional situation)?

The existing site has an unnamed tributary/stream that flows through the front portion of the property. The front & rear of the site predominantly slopes to the stream area. Existing topography slopes range from 2-33% across the property. The stream buffers encroach upon 90% of the property. The only buildable area is in the rear where a stream encroachment variance is needed for development.
3. Explain how the application of the zoning ordinance to this specific piece of property results in peculiar, extraordinary and practical difficulties?

The applicant has dedicated special attention to not cause any extraordinary or practical difficulties to the property or environment. The applicant has proposed multiple green infrastructure BMPs to aid with water quality/stormwater management & heavy replanting of landscaping to re-stabilize the buffers for protection of the natural resource.
4. Are the circumstances or conditions applying to the building or land in question peculiar to the premises? Do they apply generally to other land or buildings in the vicinity?

The stream & corresponding buffers do continue downstream to the adjacent property where there is an existing recently renovated home.
5. Explain why the granting of this variance is necessary for the preservation and enjoyment of a property right and does not merely serve as a convenience to the applicant.

As mentioned previously, the existing site has an unnamed tributary/stream that flows through the front portion of the property. The front & rear of the site predominantly slopes to the stream area. Existing topography slopes range from 2-33% across the property. The stream buffers encroach upon 90% of the



DESIGN  
CONSULTING  
CONSTRUCTION MANAGEMENT

property. The only buildable area is in the rear where a stream encroachment variance is needed for development.

6. Did the condition for which the variance is sought result from an action by the applicant?

No, the applicant purchased the lot in the existing condition.

7. Explain how the variance will affect the supply of light and air to adjacent property, the traffic on public streets, the danger of fire, the public safety and established property values.

The variance, if approved, certainly will not affect existing transportation facilities. The approval will not cause excessive use of streets, transportation facilities, or utilities in the area. The proposed development shall provide adequate ingress/egress to the subject property on Olympic Place. Property values will not be adversely impacted in anyway by the proposed development.

8. Explain how the granting of the variance will be in harmony with the general purpose and intent of the Decatur land use plan.

The development of the property will not adversely impact the environment or surrounding natural resources. As mentioned previously, the proposed design incorporates adequate site design practices green infrastructure BMPs. In addition, appropriate stormwater management practices and construction methods will be employed as the project is developed.

9. Will the granting of the variance allow a structure or use in a district restricted against such structure or use?

No, the proposed development will be in keeping with the community & follow the purpose & intent of the City of Decatur Land Use Plan.

#### CONCLUSION

For the foregoing reasons, the applicant respectfully requests that the City of Decatur Planning & Zoning Board of Appeals approve this application as presented.

If there are any questions about the variance requests, you may contact me at 205.266.1648 or at Darrell@jdmconsultantsllc.com.

Respectfully Submitted,

*Darrell Johnson*

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# SITE PLAN

FOR

# 208 OLYMPIC PLACE

## CITY OF DECATUR, GA 30030

## PARCEL ID: 15-213-01-026



P.O. BOX 366411  
ATLANTA, GA 30336  
(205) 266-1648  
darrell@jdmconsultantsllc.com  
jdmconsultantsllc@gmail.com  
www.jdmconsultantsllc.com

CLIENT:

**TROTTIS**  
CONTRACTING & BUILDING

THIS DRAWING IS THE PROPERTY OF JDM CONSULTANTS, LLC. IT IS ONLY TO BE USED FOR THE PROJECT AND LOCATION IDENTIFIED HEREIN. NO PART OF THIS DRAWING IS TO BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM BY MEANS ELECTRONIC, MECHANICAL, PHOTOCOPYING OR OTHERWISE WITHOUT THE PRIOR PERMISSION OF JDM CONSULTANTS, LLC.

SEAL:



REVISIONS:

NO.	DATE	DESCRIPTION
1	6-21-2023	DESIGN MODIFICATIONS
2	7-13-2023	DESIGN MODIFICATIONS
3	9-28-2023	DESIGN MODIFICATIONS

PROJECT:

**208 OLYMPIC PLACE**

PARCEL ID: 15-213-01-026  
CITY OF DECATUR  
DEKALB COUNTY, GEORGIA

SHEET TITLE:

**COVER SHEET**

DESIGNED BY: JDM

DRAWN BY: DJ

CHECKED BY: DJ

APPROVED BY: JDM

SCALE: AS SHOWN

DATE: 08-20-2022

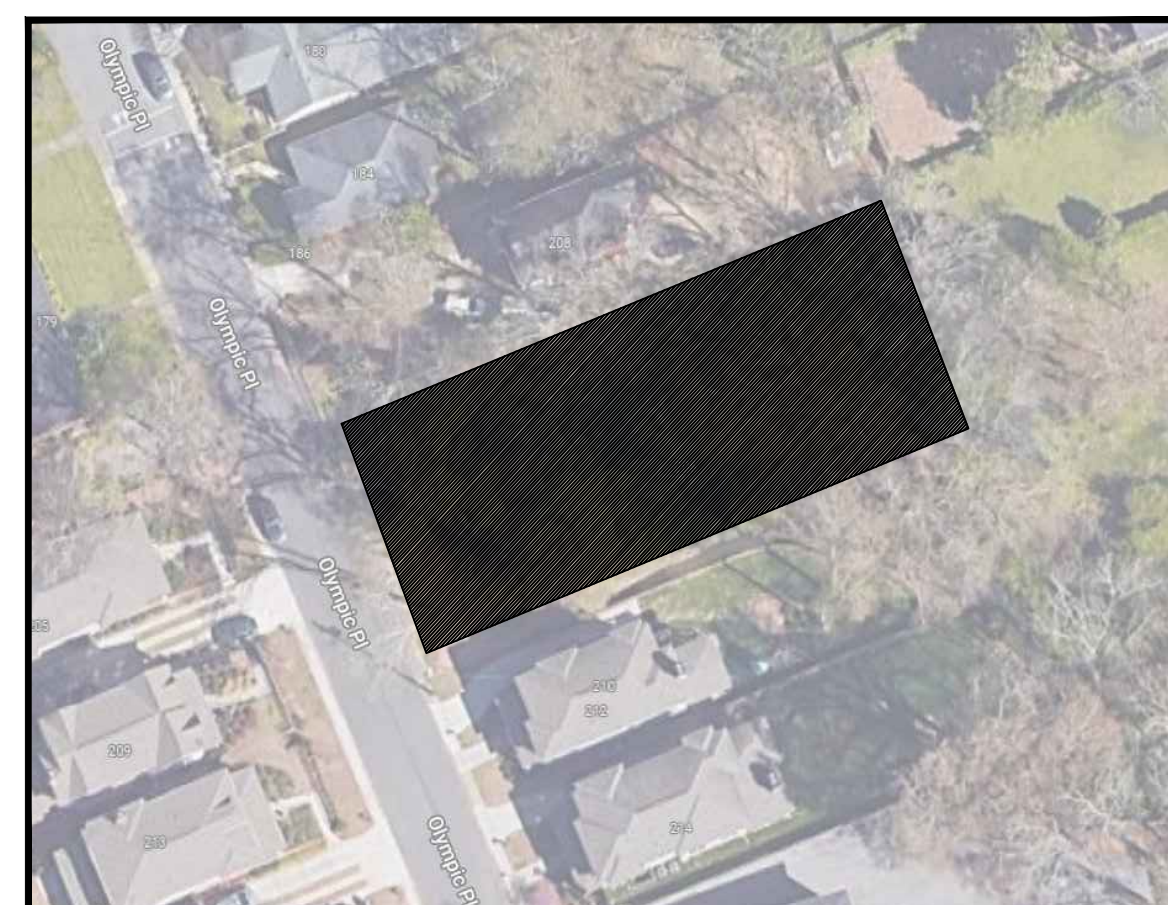
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SHEET:

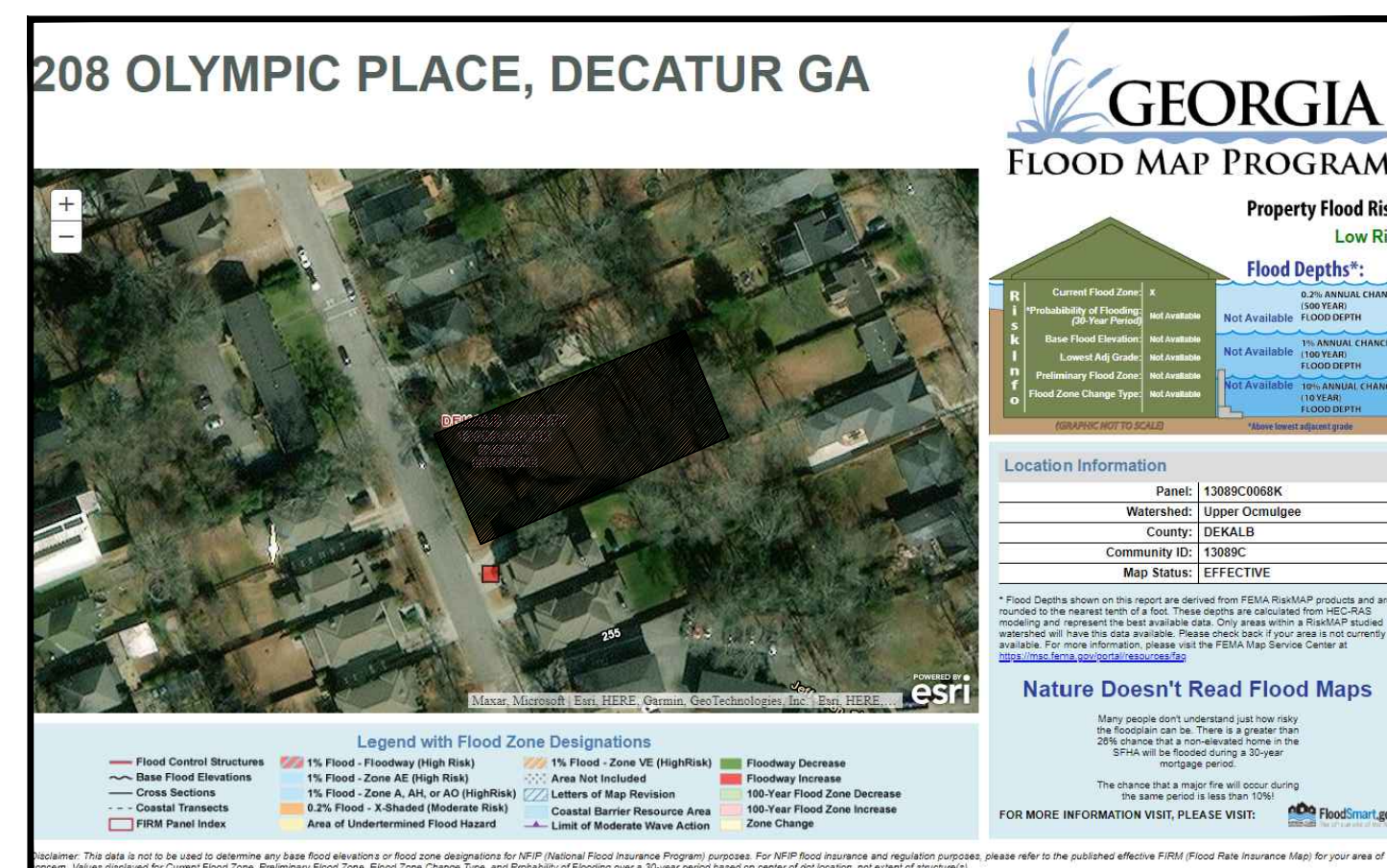
**C1**



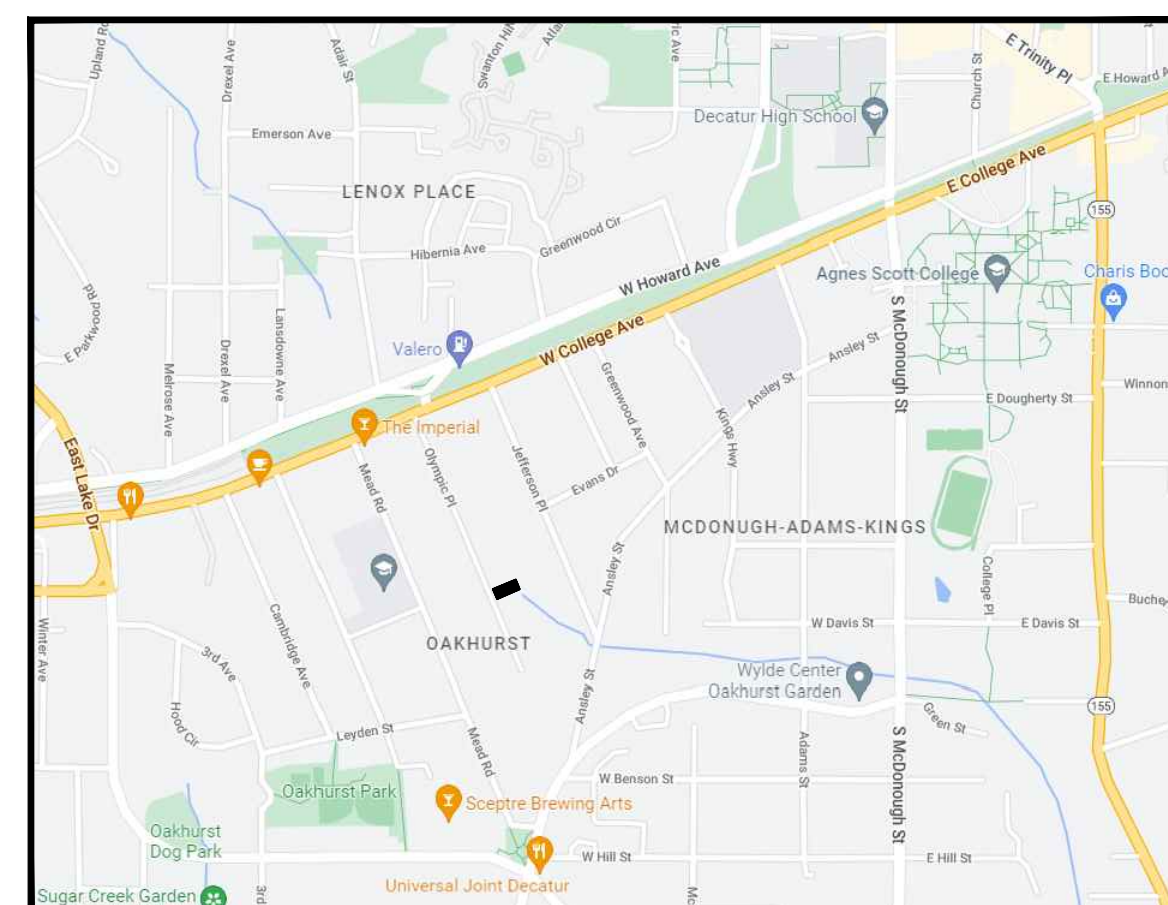
NOT ISSUED FOR CONSTRUCTION



AERIAL MAP  
NOT TO SCALE



FEMA MAP  
NOT TO SCALE



VICINITY MAP  
NOT TO SCALE

### NARRATIVE

THE SCOPE OF WORK FOR THIS PROJECT IS TO CONSTRUCT A NEW SINGLE FAMILY HOME WITH CONNECTING DRIVEWAY, WALKWAYS AND ASSOCIATED UTILITIES.

### CONTACT LIST

<b>OWNER</b>	<b>ENGINEER</b>
TROTTIS CONTRACTING & BUILDING LLC 208 OLYMPIC PLACE DECATUR, GA 30030 PHONE: 470.487.5501 CONTACT: ARTIS LIBSON	JDM CONSULTANTS, LLC P.O. BOX 366411 ATLANTA, GA 30336 CONTACT: DARRELL JOHNSON, P.E. PHONE: (205) 266-1648

### SITE DATA

#### SITE AREA

TOTAL SITE AREA: 15,928 SF (0.36 AC)  
DISTURBED AREA: 8,741 SF (0.20 AC)

#### ZONING

R-60 (SINGLE FAMILY RESIDENTIAL DIST.)  
FRONT YARD: 30 FT  
SIDE YARD: 10 FT  
REAR YARD: 30 FT

### DRAWING INDEX

C1	COVER SHEET
1 OF 1	SURVEY
C2	SITE & UTILITY PLAN
C3	GRADING & EROSION PLAN
C4	STREAM CROSSING DETAILS
L1	LANDSCAPE PLAN

### STREAM BUFFER NOTE

PER CITY OF DECATUR CODE ORDINANCE; SEC.9.2.4B "EXEMPTIONS":

THE FOLLOWING SPECIFIC ACTIVITIES ARE EXEMPT FROM THIS SECTION. EXEMPTION OF THESE ACTIVITIES DOES NOT CONSTITUTE AN EXEMPTION FOR ANY OTHER ACTIVITY PROPOSED ON A PROPERTY.

1. ACTIVITIES FOR THE PURPOSE OF BUILDING ONE OF THE FOLLOWING:
- A. A STREAM CROSSING BY A DRIVEWAY, TRANSPORTATION ROUTE OR UTILITY LINE;

### NOTES

- ALL PHASES OF SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE OWNER/DEVELOPER SITE WORK SPECIFICATIONS. THE ENGINEER HAS MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. THE CONTRACTOR BIDDING THE JOB NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND/OR SPECIFICATIONS SHALL NOT EXCUSE THE CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS. ALL WORK SHALL BE AS INDICATED AND STIPULATED ON THE DRAWINGS AND IN THE SPECIFICATIONS.
- THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO SUBMISSION OF BIDS/PERFORMING WORK TO FAMILIARIZE HIMSELF WITH THE FIELD CONDITIONS AND TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.
- THE CONTRACTOR SHALL OBTAIN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS AND/OR CONTRACTOR DOCUMENTS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT HEREIN DESCRIBED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT. EACH CONTRACTOR SHALL COOPERATE WITH THE OWNER'S REPRESENTATIVE, AND COORDINATE HIS WORK WITH THE WORK OF OTHERS.
- THESE DRAWINGS ARE FORMATTED FOR 24"x36". OTHER SIZE VERSIONS ARE NOT PRINTED TO THE SCALE CALLED OUT OR SHOWN.

STORM/SEWER INVERT TABLE													
#	STRUCTURE	PIPE 1	PIPE 2	PIPE 3	PIPE 4								
NAME	CODE	NOTE	RIM	INVERT	PIPE	DIRECTION	INVERT	PIPE	DIRECTION	INVERT	PIPE	DIRECTION	INVERT
D1	DMH	XXXXX	1005.23	998.98	18" RCP	D2	XXXXX	XXXXX	XX	XXXXX	XXXXX	XX	XXXXX
D2	DMH	XXXXX	1005.28	997.68	18" RCP	D1	997.68	24" RCP	NW	994.96	24" RCP	CREEK	XXXXX
S1	SMH	XXXXX	1007.09	1001.39	8" PVC	NW	998.59	8" PVC	S3	999.49	8" PVC	S2	XXXXX
S2	SMH	XXXXX	1011.18	1002.33	8" PVC	S1	1002.33	8" PVC	D3	1002.43	8" PVC	S	XXXXX
S3	SMH	XXXXX	993.20	990.00	8" PVC	S2	999.90	8" PVC	S1	989.90	8" PVC	NE	998.98
													SE
													XXXXX

**SYMBOL LEGEND**

- [Symbol] = CONCRETE
- [Symbol] = ASPHALT PAVEMENT
- [Symbol] = BUILDING OUTLINE
- [Symbol] = IRON PIN FOUND
- [Symbol] = IRON PIN PLACED (1/2" REBAR)
- [Symbol] = BOUNDARY POINT
- [Symbol] = IPF CONCRETE MONUMENT
- [Symbol] = OVERHEAD WIRE
- [Symbol] = HOG WIRE FENCE
- [Symbol] = WOOD FENCE
- [Symbol] = CHAINLINK FENCE
- [Symbol] = C/L OF CREEK
- [Symbol] = 50' UNDISTURBED STATE WATERS BUFFER
- [Symbol] = 25' UNDISTURBED STATE WATERS BUFFER
- [Symbol] = 75' COUNTY IMPERVIOUS AREA BUFFER

**LEGEND**

- A = ARC LENGTH
- B/L = BUILDING SETBACK LINE
- C&G = CURB & GUTTER
- C/L = CENTERLINE
- CALC = CALCULATED POINT
- CHB = CHORD BEARING
- CHL = CHORD LENGTH
- D = DELTA ANGLE
- DB = DEED BOOK
- DMH = DRAINAGE MANHOLE
- IPF = IRON PIN FOUND
- IPP = IRON PIN PLACED
- APP = APPARENT LAND LOT LINE
- LL = LAND LOT
- N/F = NOW OR FORMERLY
- OHW = OVERHEAD WIRE
- OTP = OPEN TOP PIPE
- P/C = PROPERTY CORNER
- P/L = PROPERTY LINE
- PB = PLAT BOOK
- PG = PAGE
- POB = POINT OF BEGINNING
- POC = POINT OF COMMENCEMENT
- PP = POWER POLE
- R = RADIUS
- R/W = RIGHT OF WAY
- RB = REBAR
- SMH = SANITARY SEWER MANHOLE
- SQFT = SQUARE FEET

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT, THEREFORE, ALL EASEMENTS AND MATTERS OF RECORD MAY NOT BE SHOWN HEREON.

BASED ON THE INFORMATION SHOWN ON THE FLOOD HAZARD BOUNDARY MAPS FURNISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, IT IS MY OPINION THAT THIS PROPERTY IS OUTSIDE OF THE 100 YEAR FLOOD HAZARD AREA.

PANEL 13089C0068K  
EFFECTIVE DATE: 8/15/2019

ALL OR A PORTION OF THIS SURVEY WAS PERFORMED BY GPS. 100% OF THIS SURVEY WAS PERFORMED BY GPS. TYPE OF GPS USED WAS REAL TIME KINEMATIC (RTK). THE GPS EQUIPMENT USED TO PERFORM THIS SURVEY WAS MADE BY CARLSON, MODEL: BRX7 AND ARE MULTI-FREQUENCY (GNSS) RECEIVERS. THE RELATIVE POSITION ACCURACY OF THIS SURVEY IS 0.05'.

FIELD WORK COMPLETED ON: 9/8/2023  
PLAT COMPLETED ON: 9/14/2023

THE CURRENT PROPERTY OWNER IS TROTTS CONTRACTING AND BUILDING LLC PER DEED BOOK 28309X, PAGE 88 OF DEKALB COUNTY, GEORGIA RECORDS.

REFERENCE MATERIALS INCLUDE:

- PB 8, PG 136
- PB 4, PG 61
- DB 28309, PG 88
- DB 21506, PG 161
- DB 18910, PG 769
- DB 29479, PG 503
- DB 29535, PG 777
- DB 28903, PG 88

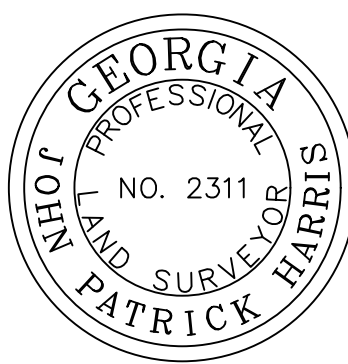
DEKALB COUNTY RECORDS

#	SPECIES	DBH
T1	CYPRUS P719	8"
T2	CYPRUS P721	8"
T3	CYPRUS P722	10"
T4	CYPRUS P724	10"
T400	OAK	16"
T401	OAK	23"
T718	OAK	14"
T720	OAK	17"
T725	OAK	38"
T726	OAK	21"
T727	SG	28"
T728	SG	30"
T729	OAK	22"
T730	SG	18"
T731	SG	18"
T732	OAK	26"
T733	OAK	18"
T734	OAK	23"
T735	OAK	25"
T736	MAP	26"
T737	OAK	27"
T738	OAK	25"
T739	MAP	12"
T740	SG	26"
T741	SG	11"
T742	OAK	21"
T743	OAK	33"
T744	OAK	19"
T745	OAK	18"
T746	MAPLE	12"
T747	OAK	39"
T748	OAK	32"
T749	HOLLY	6"
T750	MAG	6"
T751	SG	6"
T752	ASH	8"
T753	SG	6"

THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

*John Patrick Harris*  
JOHN PATRICK HARRIS, P.L.S. #2311

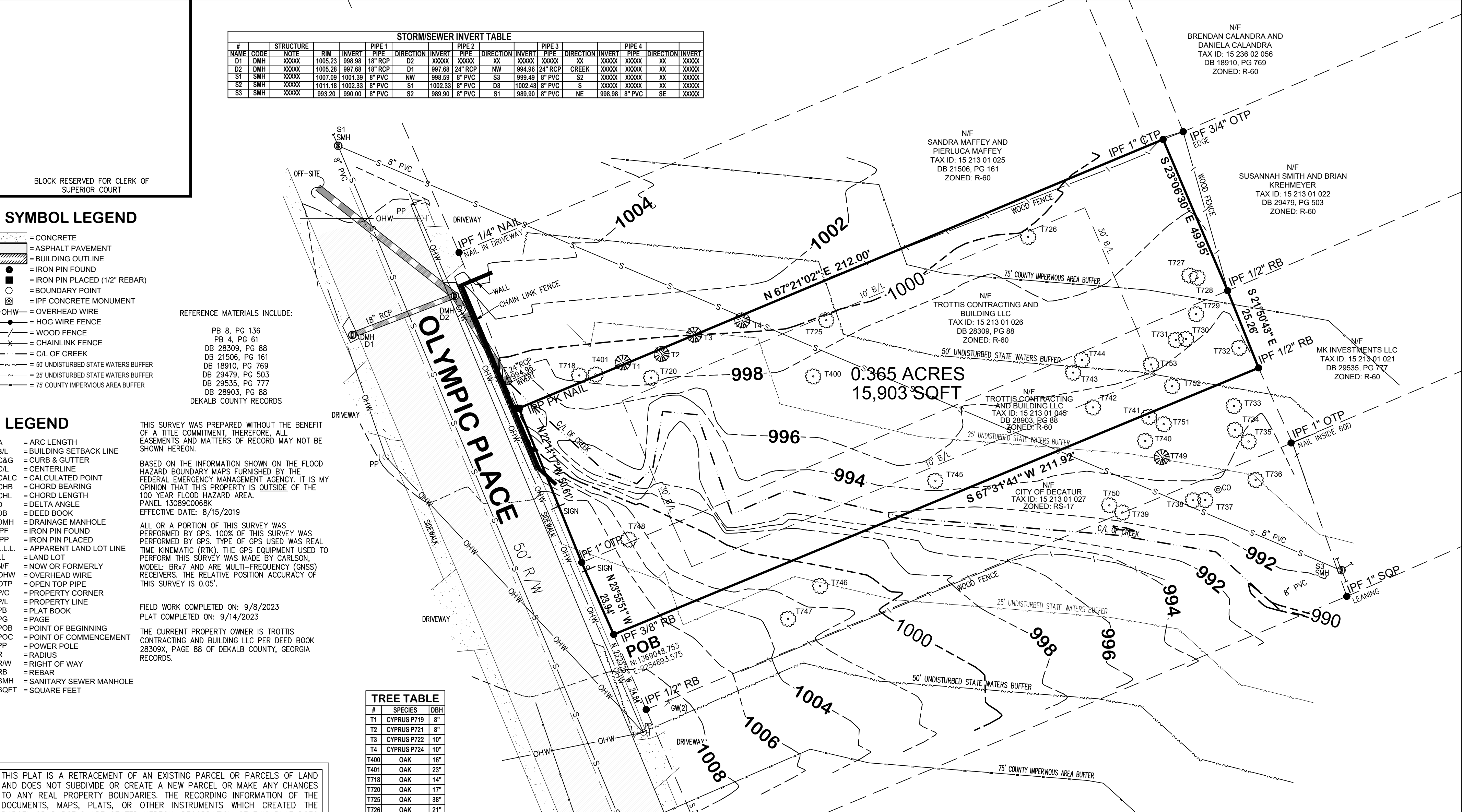
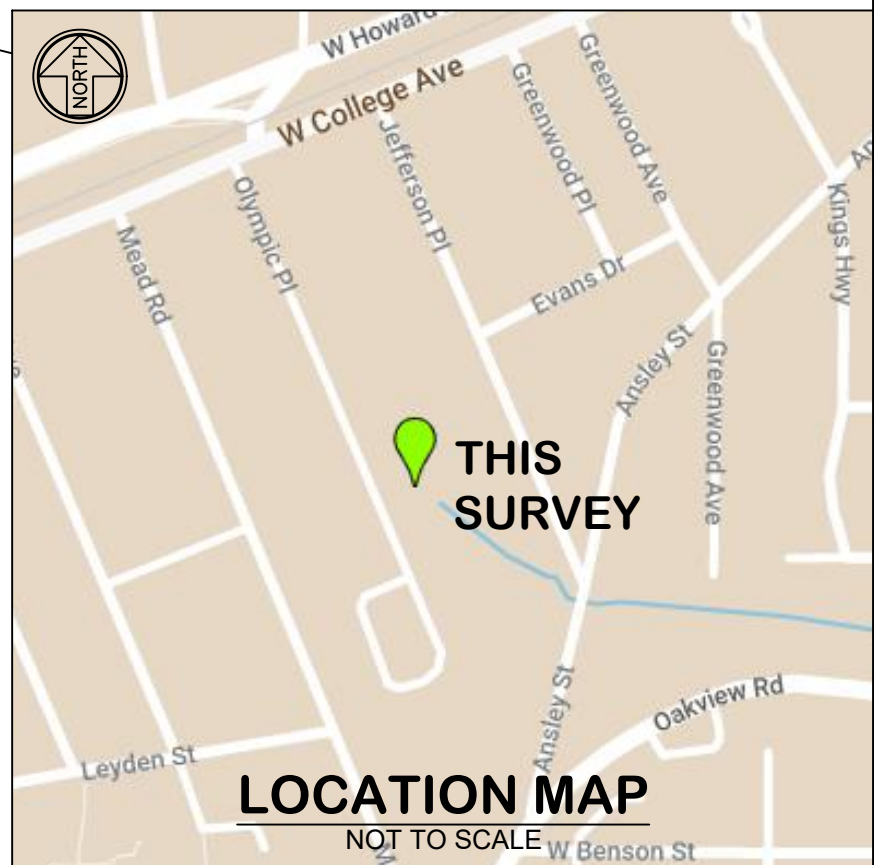
9/14/2023  
DATE



IRONSTONE SURVEYING  
96 Ernest Biles Drive, Jackson, Georgia 30233  
Phone 770-957-4614 | Email office@ironstonesurveying.com

RETRACEMENT, TOPOGRAPHIC & TREE LOCATE SURVEY  
FOR TROTTS CONTRACTING AND BUILDING LLC  
IN LAND LOT 213, DISTRICT 15, DEKALB COUNTY, GEORGIA

IRONSTONE SURVEYING  
www.Ironstone811.com  
Contact 811 before you dig.



N/F BRENDAN CALANDRA AND DANIELA CALANDRA  
TAX ID: 15 213 02 056  
DB 21506, PG 161  
ZONED: R-60

N/F SANDRA MAFFEY AND PIERLUCA MAFFEY  
TAX ID: 15 213 01 025  
DB 21506, PG 161  
ZONED: R-60

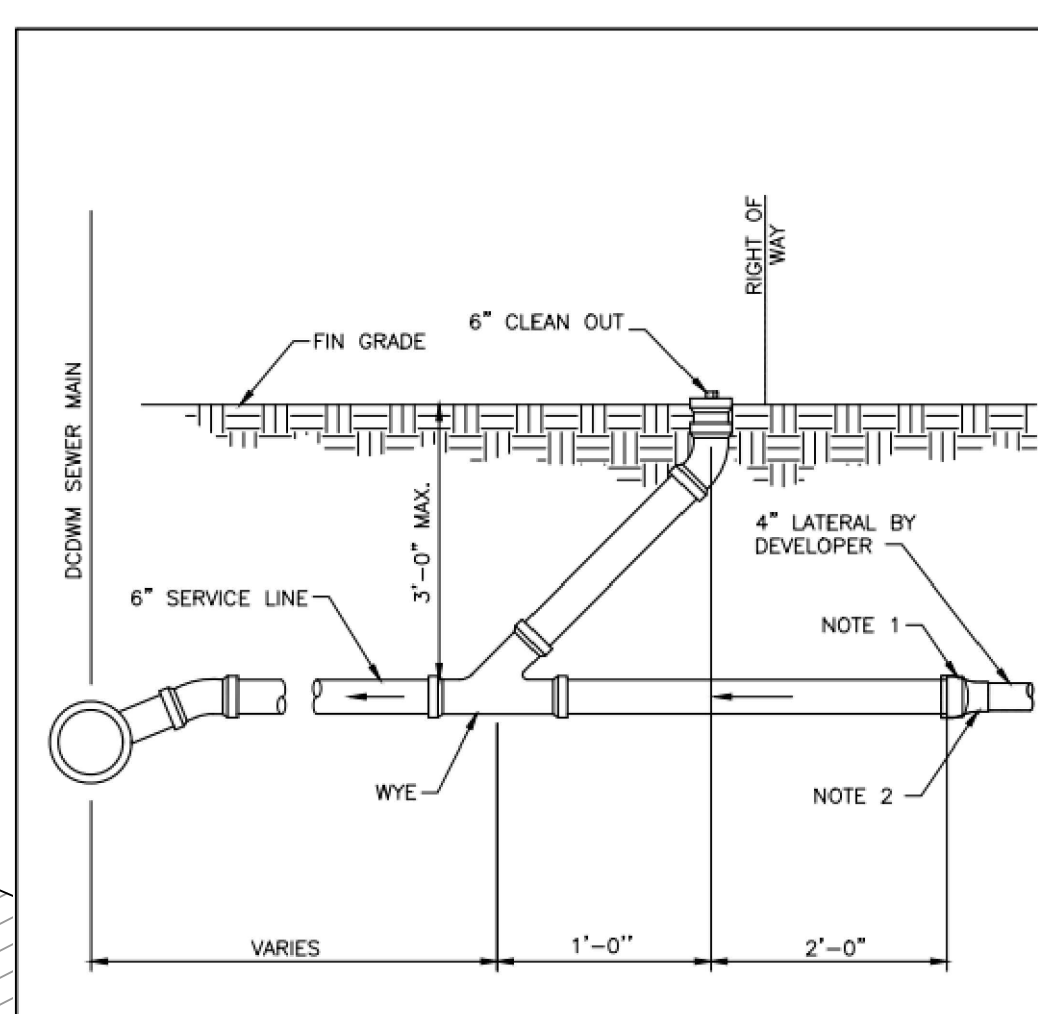
N/F SUSANNAH SMITH AND BRIAN KREHMEYER  
TAX ID: 15 213 01 022  
DB 29479, PG 503  
ZONED: R-60

N/F TROTTS CONTRACTING AND BUILDING LLC  
TAX ID: 15 213 01 026  
DB 28309, PG 88  
ZONED: R-60

N/F TROTTS CONTRACTING AND BUILDING LLC  
TAX ID: 15 213 01 045  
DB 28903, PG 88  
ZONED: R-60

N/F CITY OF DECATUR  
TAX ID: 15 213 01 027  
ZONED: RS-17

N/F MK INVESTMENTS LLC  
TAX ID: 15 213 01 021  
DB 29535, PG 777  
ZONED: R-60

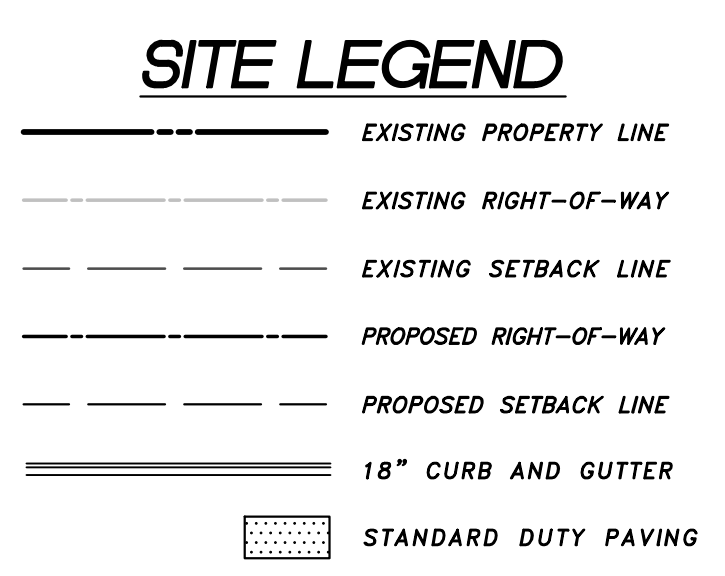
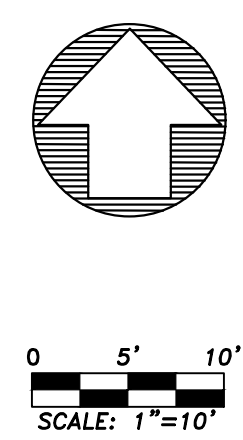


STREAM BUFFER IMPERVIOUS BREAKDOWN			
BUFFER AREA	EX. ENCROACHMENT AREA (S.F.)	PROP. ENCROACHMENT AREA (S.F.)	TOTAL ENCROACHMENT AREA (S.F.)
25' (STATE BUFFER)	0	961	961
50' (UNDISTURBED)	0	1152	1152
75' (IMPERVIOUS BUFFER)	0	1487	1487
<b>OVERALL TOTAL</b>			<b>3600</b>

- NOTES:
1. PLUG 6" SERVICE LINE.
  2. CONNECT DEVELOPER'S 4" LATERAL TO 6" SERVICE LINE W/ 4" X 6" FERNCO COUPLING INCLUDING SST BANDS

**STANDARD DETAILS**  
Typical Service Line and Clean Out Detail  
NOT TO SCALE  
DETAIL NO. S-012

N/F  
BRENDAN CALANDRA AI  
DANIELA CALANDRA  
TAX ID: 15 236 02 056  
DB 18910, PG 769  
ZONED: R-60



- SITE NOTES**
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS AND SITE WORK SPECIFICATIONS AND SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
  2. BOUNDARY AND TOPOGRAPHIC INFORMATION BASED ON SURVEY DATA PROVIDED BY: HURD - PRINCE & ASSOCIATES, INC. DATED APRIL 28, 2010
  3. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
  4. ALL TRAFFIC SIGNS SHALL CONFORM TO THE UNIFORM TRAFFIC CONTROL MANUAL AND THE STATE OF GEORGIA DEPARTMENT OF TRANSPORTATION.
  5. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE TO ANY EXISTING IMPROVEMENTS, ONSITE OR OFF SITE, SUCH AS PAVEMENT, UTILITIES, STORM DRAINAGE, ETC. THE REPAIR MUST BE APPROVED BY THE ENGINEER AND BE EQUAL OR BETTER THAN EXISTING CONDITIONS.
  6. SITE CONTRACTOR SHALL SUPPLY AS-BUILT PLANS INDICATING ALL CHANGES AND DEVIATIONS.
  7. ANY DEVIATION FROM THESE PLANS MAY CAUSE THE WORK TO BE UNACCEPTABLE.
  8. ANY UNANTICIPATED CONDITIONS ENCOUNTERED DURING THE CONSTRUCTION PROCESS SHALL BE IDENTIFIED TO THE ENGINEER IMMEDIATELY.
  9. ALL CONCRETE SHALL BE 3,000 PSI 28 DAY COMPRESSIVE STRENGTH.

**SITE AREA CALCULATIONS**

TOTAL PROPERTY AREA	15,928 SF (0.36 AC.)
TOTAL DISTURBED AREA	8,741 SF (0.20 AC.)

**LOT COVERAGE/IMPERVIOUS CALCS.**

-BLDG. ROOF AREA	1408 SF (0.03 AC.)
-PORCH AREA	266 SF (0.01 AC.)
-CONC. DRIVEWAY AREA	1,260 SF (0.03 AC.)
-**PERVIOUS PAVERS	875 SF (0.02 AC.)
<b>TOTAL IMPERVIOUS AREA</b>	<b>2,934 SF (0.07 AC.)-18.7%</b>
<b>TOTAL PERVIOUS AREA</b>	<b>12,994 SF (0.29 AC.)-82.3%</b>

\*\* NOT INCLUDED IN IMPERVIOUS TOTAL

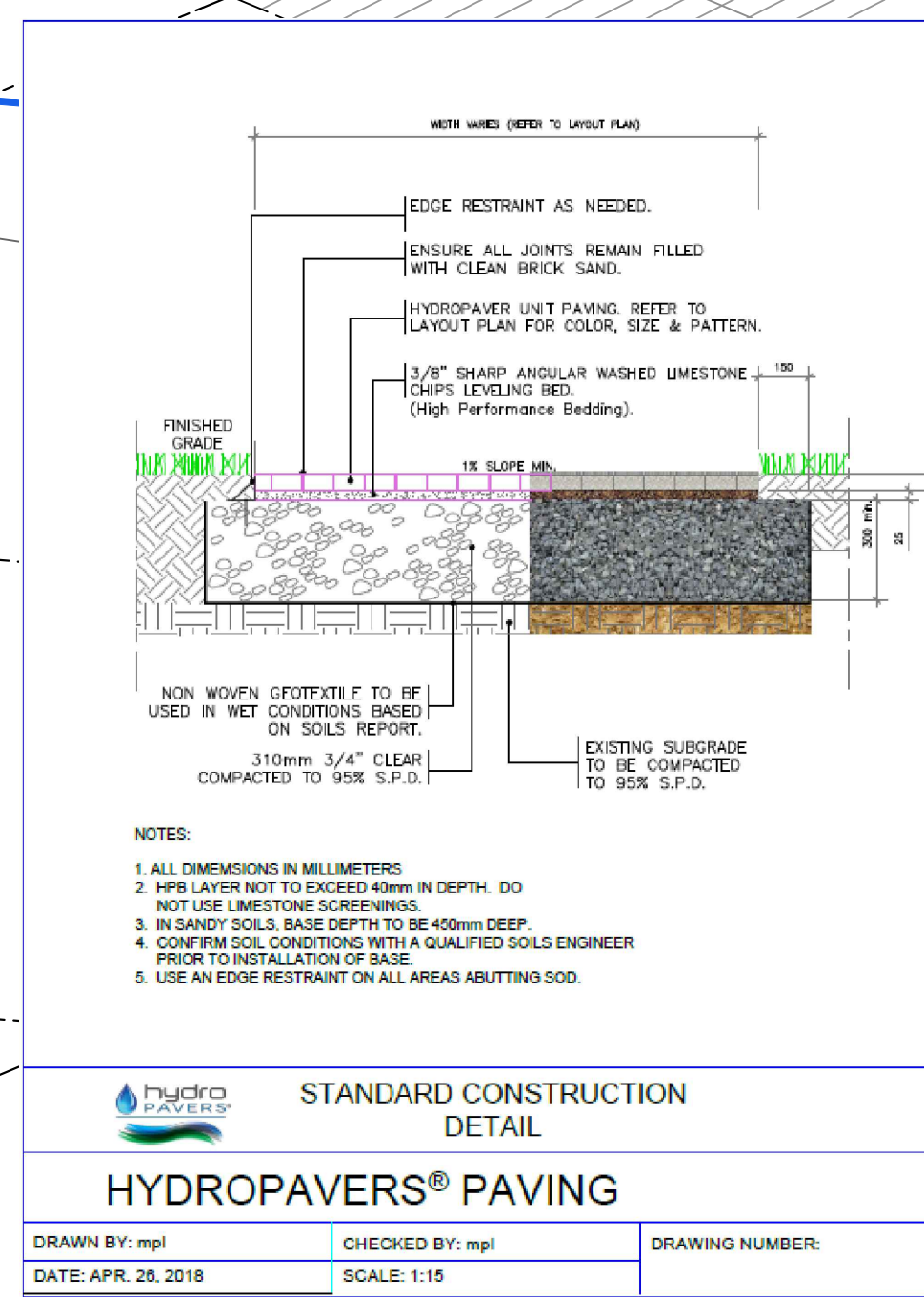
**ZONING**

JURISDICTION: CITY OF DECATUR  
ZONING CATEGORY: R-60 (SINGLE FAMILY RESIDENTIAL DIST.)

**DEVELOPMENT REQUIREMENTS**

FRONT YARD SETBACK	30'
SIDE YARD SETBACK	10'
REAR YARD SETBACK	30'
MIN. LOT WIDTH	60' (MIN.)
MIN. LOT AREA	9,000 SF (MIN.)
MAX. DENSITY	40% MAX (6,371 SF)
MAX. LOT COVERAGE	27.2% (4,332 SF)

- NOTES/IMPLICATIONS**
1. ARMY CORP "404 NATIONWIDE" PERMIT NEEDED FOR SECTION OF PIPE WITHIN STREAM AREA - TYPICAL 60-90 DAY PROCESS. (ALTERNATIVE OPTION OF BOTTOMLESS CULVERT TO REDUCE PERMITTING TIME.
  2. STREAM BUFFER ENCROACHMENT VARIANCE FOR LAND DISTURBANCE & GRADING WITHIN 50' UNDISTURBED BUFFER.
  3. REAR BUILDING SETBACK ENCROACHMENT VARIANCE NEEDED FOR RESIDENTIAL STRUCTURE.
  3. COORDINATION WITH DEKALB COUNTY WATERSHED MANAGEMENT FOR CONNECTION & DEPTH OF COVER REDUCTION ON PIPE.



**NOTE**  
NO IMPERVIOUS PAVEMENT OUTSIDE OF THE DRIVEWAY HAS BEEN PROPOSED INSIDE THE 50' STREAM BUFFER AS PER CITY OF DECATUR CODE REFERENCE, SEC. 9.2.5A "BUFFER & SETBACK REQUIREMENTS"

**NOTE**  
BUFFERS ELIMINATED IN THIS AREA DUE TO THE STREAM CULVERT PIPE INSTALLATION AS PER THE ENVIRONMENTAL PROTECTION DIVISION SEC. 391-3.7.05 (BUFFER VARIANCE PROCEDURES)

**OLYMPIC PLACE**  
(40' R/W)

N/F  
TROTTS CONTRACTING AND BUILDING LLC  
TAX ID: 15 213 01 026  
DB 28309, PG 88  
ZONED: R-60  
0.365 ACRES  
15,903 SQFT

TAX ID: 15 213 01 045  
DB 28903, PG 88  
ZONED: R-60

N/F  
CITY OF DECATUR  
TAX ID: 15 213 01 027  
ZONED: RS-17

N/F  
SANDRA MAFFEY AND  
PIERLUCA MAFFEY  
TAX ID: 15 213 01 025  
DB 21506, PG 161  
ZONED: R-60

**JDM CONSULTANTS**  
DESIGN CONSULTING  
CONSTRUCTION MANAGEMENT

P.O. BOX 366411  
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**TROTTS CONTRACTING & BUILDING**

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SEAL:

10/27/2022

REVISIONS:

NO.	DATE	DESCRIPTION
1	6-21-2023	DESIGN MODIFICATIONS
2	7-13-2023	DESIGN MODIFICATIONS
3	9-28-2023	DESIGN MODIFICATIONS
4	11-9-2023	DRIVEWAY MODIFICATIONS

PROJECT:  
**208 OLYMPIC PLACE**  
PARCEL ID: 15-213-01-026  
CITY OF DECATUR  
DEKALB COUNTY, GEORGIA

SHEET TITLE:  
**SITE PLAN**

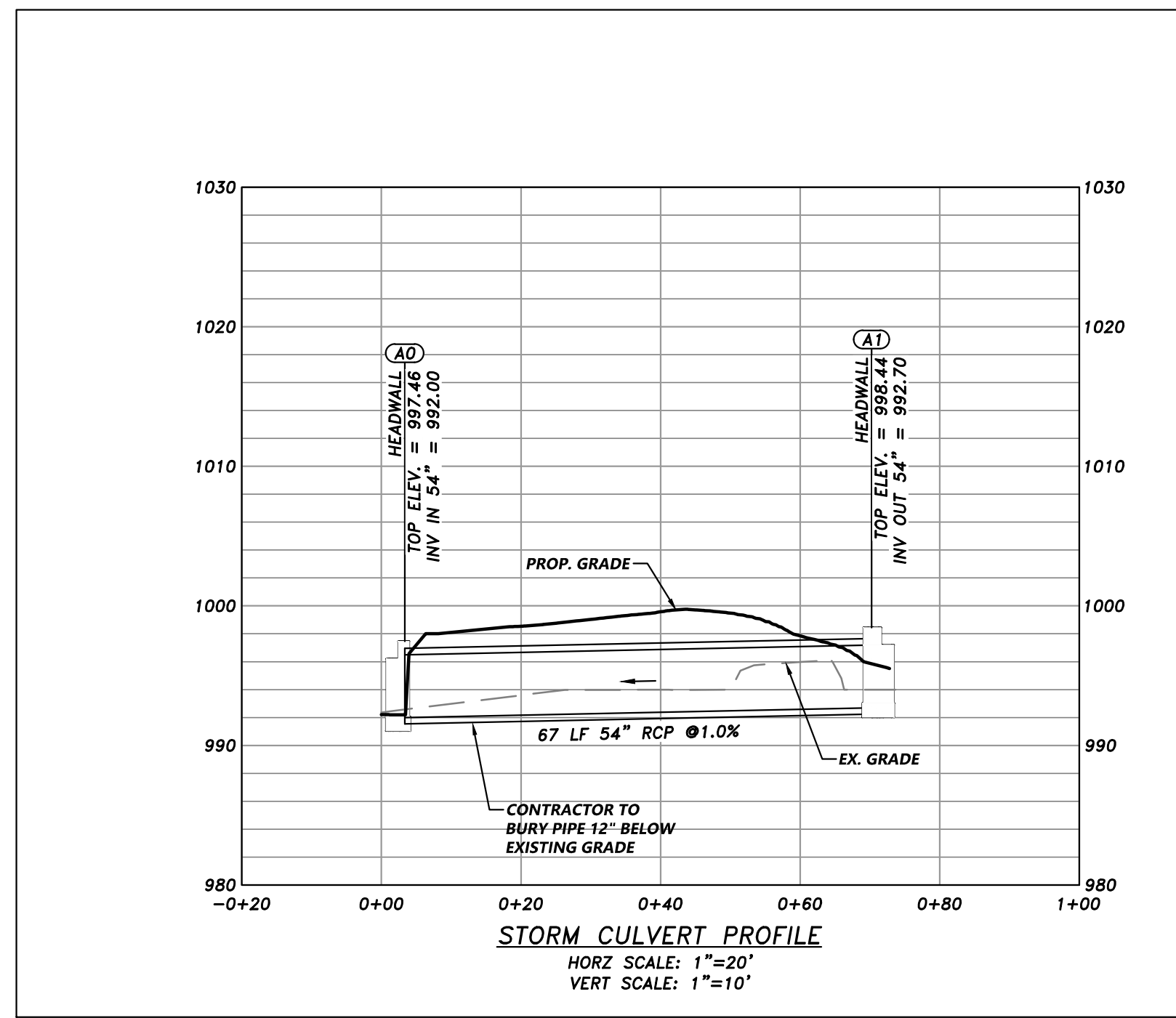
DESIGNED BY: JDM  
DRAWN BY: DJ  
CHECKED BY: DJ  
APPROVED BY: JDM

SCALE: AS SHOWN  
DATE: 08-20-2022

PROJECT NO.:  
SHEET:  
**C2.0**

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### Culvert Report

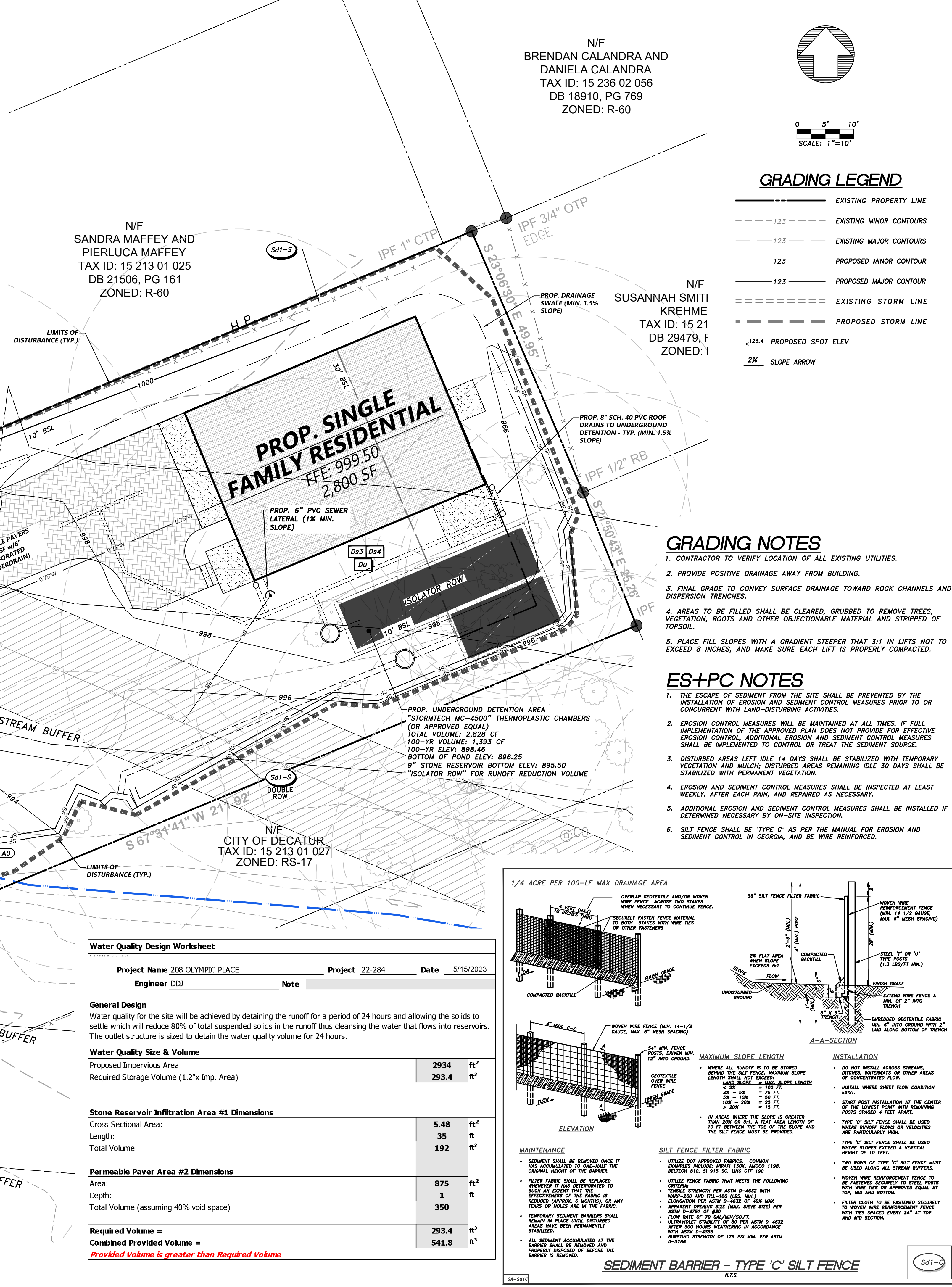
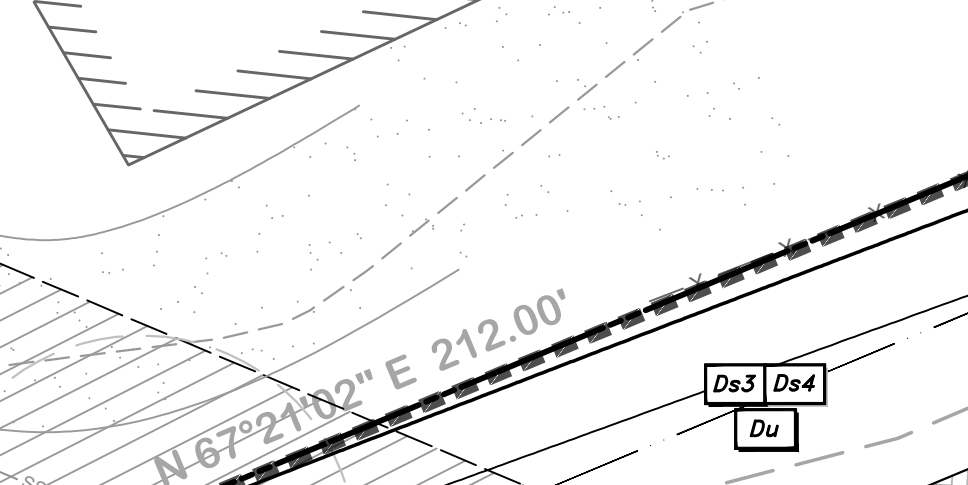
Hydraulic Express Extension for Autodesk Civil 3D by Autodesk, Inc. Thursday, Sep 28 2023

**54 IN PIPE BURIED 12 IN (SAME AREA AS 48 IN)**

Invert Elev (ft)	= 992.00	Calculations	= 35.00
Pipe Length (ft)	= 67.00	Qmin (cfs)	= 58.30
Slope (%)	= 1.00	Qmax (cfs)	= 58.30
Invert Up (ft)	= 992.67	Tailwater Elev (ft)	= (Q<sup>2</sup>)/2
Rise (in)	= 48.0		
Shape	= Circular	Highlighted	
Span (in)	= 48.0	Qtotal (cfs)	= 35.00
No. Barrels	= 1	Qpipe (cfs)	= 35.00
n-Value	= 0.013	Conversion (cfs)	= 0.00
Culvert Type	= Circular Concrete	Veloc Dn (%)	= 3.61
Culvert Entrance	= Square edge withheadwall (C)	Veloc Up (%)	= 6.58
Coeff. K,M,c,Y,K	= 0.0098, 2, 0.0398, 0.67, 0.5	HGL Dn (ft)	= 994.88
		HGL Up (ft)	= 994.43
		Hw Elev (ft)	= 995.18
		HwD (ft)	= 0.62
		Flow Regime	= Inlet Control

**Embankment**  
 Top Elevation (ft) = 999.00  
 Top Width (ft) = 18.00  
 Cross Width (ft) = 8.00

**NOTE:** THE TOTAL DRAINAGE GIVEN ABOVE IS COMBINED WITH OVERLAND FLOW & PIPED FLOW. THE DRAINAGE AREA FOR THE OVERLAND FLOW IS SHOWN ON THE DOWNSTREAM BASIN MAP WITH AN AREA OF 5.12 ACRES (SEE SHEET FOR CALC). THE PIPED FLOW IS LIMITED TO THE CAPACITY (32.3 CFS) OF THE 30 IN PIPE DISCHARGING UPSTREAM OF THE PROPOSED AREA.



N/F  
 BRENDAN CALANDRA AND  
 DANIELA CALANDRA  
 TAX ID: 15 236 02 056  
 DB 18910, PG 769  
 ZONED: R-60

N/F  
 SANDRA MAFFEY AND  
 PIERLUCA MAFFEY  
 TAX ID: 15 213 01 025  
 DB 21506, PG 161  
 ZONED: R-60

N/F  
 SUSANNAH SMITH  
 KREHME  
 TAX ID: 15 21  
 DB 29479, F  
 ZONED: I

N/F  
 TROTTIS CONTRACTING AND-BUILDING LLC  
 TAX ID: 15 213 01 026  
 DB 28309, PG 88  
 ZONED: R-60  
 0.365 ACRES  
 15,903 SQFT

N/F  
 CITY OF DECATUR  
 TAX ID: 15 213 01 027  
 ZONED: RS-17

TAX ID: 15 213 01 045  
 DB 28903, PG 88  
 ZONED: R-60

### GRADING LEGEND

- EXISTING PROPERTY LINE
- - - - EXISTING MINOR CONTOURS
- - - - EXISTING MAJOR CONTOURS
- - - - PROPOSED MINOR CONTOUR
- - - - PROPOSED MAJOR CONTOUR
- ==== EXISTING STORM LINE
- ==== PROPOSED STORM LINE
- 2x SLOPE ARROW

### GRADING NOTES

- CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
- FINAL GRADE TO CONVEY SURFACE DRAINAGE TOWARD ROCK CHANNELS AND DISPERSION TRENCHES.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL AND STRIPPED OF TOPSOIL.
- PLACE FILL SLOPES WITH A GRADE STEEPER THAT 3:1 IN LIFTS NOT TO EXCEED 8 INCHES, AND MAKE SURE EACH LIFT IS PROPERLY COMPACTED.

### ES+PC NOTES

- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- DISTURBED AREAS LEFT IDLE 14 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION AND MULCH; DISTURBED AREAS REMAINING IDLE 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN, AND REPAIRED AS NECESSARY.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON-SITE INSPECTION.
- SILT FENCE SHALL BE TYPE 'C' AS PER THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, AND BE WIRE REINFORCED.

### Water Quality Design Worksheet

Project Name: 208 OLYMPIC PLACE    Project: 22-284    Date: 5/15/2023  
 Engineer: DDJ    Note: \_\_\_\_\_

**General Design**  
 Water quality for the site will be achieved by detaining the runoff for a period of 24 hours and allowing the solids to settle which will reduce 80% of total suspended solids in the runoff thus cleansing the water that flows into reservoirs. The outlet structure is sized to detain the water quality volume for 24 hours.

**Water Quality Size & Volume**

Proposed Impervious Area	2934 ft <sup>2</sup>
Required Storage Volume (1.2"x Imp. Area)	293.4 ft <sup>3</sup>

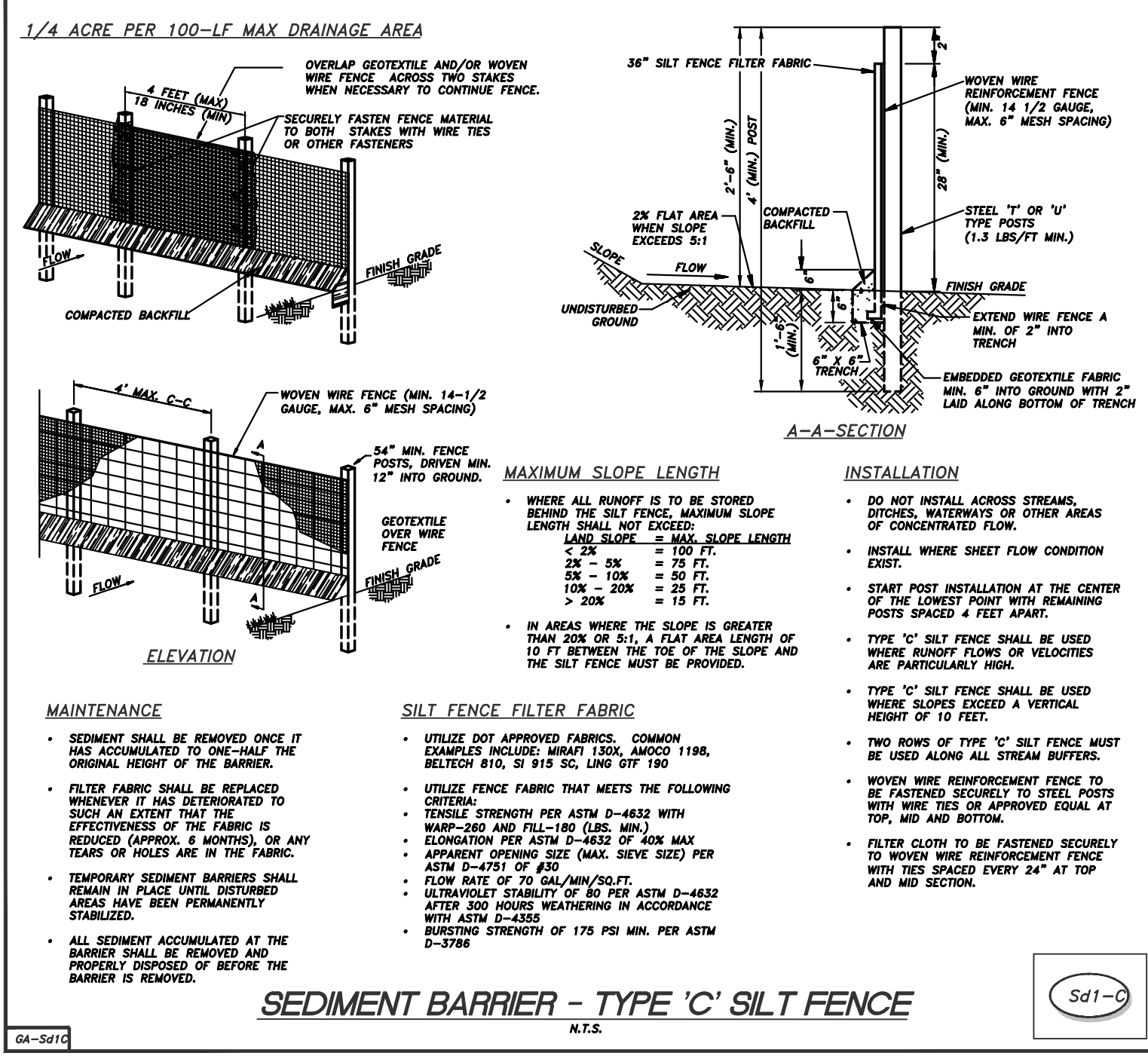
**Stone Reservoir Infiltration Area #1 Dimensions**

Cross Sectional Area:	5.48 ft <sup>2</sup>
Length:	35 ft
Total Volume	192 ft <sup>3</sup>

**Permeable Paver Area #2 Dimensions**

Area:	875 ft <sup>2</sup>
Depth:	1 ft
Total Volume (assuming 40% void space)	350 ft <sup>3</sup>

**Required Volume =** 293.4 ft<sup>3</sup>  
**Combined Provided Volume =** 541.8 ft<sup>3</sup>  
*Provided Volume is greater than Required Volume*



**208 OLYMPIC PLACE**  
 (40' R/W)

**JDM CONSULTANTS**  
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 CONSTRUCTION MANAGEMENT

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SEAL:  
  
 10/27/2022

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3	9-28-2023	DESIGN MODIFICATIONS

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**208 OLYMPIC PLACE**  
 PARCEL ID: 15-213-01-026  
 CITY OF DECATUR  
 DEKALB COUNTY, GEORGIA

SHEET TITLE:  
**GRADING PLAN**

DESIGNED BY: JDM  
 DRAWN BY: DJ  
 CHECKED BY: DJ  
 APPROVED BY: JDM

SCALE: AS SHOWN  
 DATE: 08-20-2022

PROJECT NO.:  
 SHEET:  
**C3.0**

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### Temporary Stream Crossing



#### DEFINITION

A temporary structure installed across a flowing stream or watercourse for use by construction equipment.

#### PURPOSE

This standard provides a means for construction vehicles to cross streams or watercourses without moving sediment into streams, damaging the streambed or channel, or causing flooding.

#### CONDITIONS

Temporary stream crossings should not be used on streams with drainage areas greater than one square mile, unless specifically designed to accommodate the additional drainage area by the design professional. A certification statement and signature shall accompany the design.

Structures may include bridges, round pipes or pipe arches.

Temporary stream crossings should be in place for less than one year and should not be used by the general public.

#### DESIGN CRITERIA

The structure shall be large enough to convey the full bank flow of the stream, typically flows produced by a 2-year, 24-hour frequency storm, without appreciably altering the stream flow characteristic.

6-201

#### Location

The temporary stream crossing shall be perpendicular to the stream. Where approach conditions dictate, the crossing may vary 15% from the perpendicular.

#### Overflow Protection

Structures shall be protected from washout during periods of peak discharges by diverting water around the structures. Methods to be considered for washout protection may include elevation of bridges above adjacent flood plain lands, crowning of fills over pipes, or by the use of diversions, dikes or island type structures. Two types of stream crossings that may be used are bridges and culverts. Frequency and intended use, stream channel conditions, overflow areas, potential flood damage, and surface runoff control should be considered when selecting the type of temporary stream crossing to be used.

#### Temporary Bridge Crossing

A temporary access bridge causes the least erosion of the stream channel crossing when the bridge is installed and removed. It also provides the least obstruction to flow and fish migration. Provided that the bridge is properly designed and appropriate materials are used, a temporary access bridge will be long-lasting and will require little maintenance. However, it is generally the most expensive crossing to design and construct, creating the greatest safety hazard if not adequately designed, installed and maintained.

#### Temporary Culvert Crossing

A temporary access culvert can control erosion effectively, but can cause erosion when it is installed and removed. It is the most common stream crossing. A temporary culvert can be easily constructed and enables heavy equipment loads to be used. However, culverts create the greatest obstruction to flood flows and are subject to blockage and washout.

Table 6-33.1 shall be used to determine the culvert size necessary to safely convey streamflow.

GSWCC 2016 Edition

Drainage Area (Acres)	Average Slope of Watershed			
	1%	4%	8%	16%
1-25	24	24	30	30
26-50	24	30	36	36
51-100	30	36	42	48
101-150	30	42	48	48
151-200	36	42	48	54
201-250	36	48	54	54
251-300	36	48	54	60
301-350	42	48	60	60
351-400	42	54	60	60
401-450	42	54	60	72
451-500	42	54	60	72
501-550	48	60	72	72
551-600	48	60	72	72
601-650	48	60	72	72

\*Assumptions for determining the table: USDA-NRCS Peak Discharge Method, CN = 65, Rainfall depth (average for Georgia) = 3.7" for 2-year frequency. Pipe diameters shown in the table are in inches.

Please note that the required pipe size is based on cross-sectional area of the pipe; e.g. if a 24 inch pipe is prescribed by Table 33.1, two 12 inch pipes could not be substituted because less flow area is provided.

#### CONSTRUCTION SPECIFICATIONS

##### All Crossings

1. Clearing of the stream bed and banks shall be kept to a minimum.
2. All surface water from the construction site shall be diverted onto undisturbed areas adjoining the stream. Line unstable stream banks with riprap or otherwise appropriately stabilize them.
3. The structure shall be removed as soon as it is no longer necessary for project construction.
4. Upon removal of the structure, the stream shall immediately be restored to its original cross-section and properly stabilized.

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#### Temporary Bridge Crossing

1. The temporary bridge shall be constructed at or above bank elevation to prevent the entrapment of floating materials and debris.
2. Abutments shall be placed parallel to and on stable banks.
3. Bridges shall be constructed to span the entire channel. If the channel width exceeds eight feet (as measured from the tops of the banks), a footing, pier or bridge support may be constructed within the waterway.
4. Bridges shall be securely anchored at only one end using steel cable or chain. This will prevent channel obstruction in the event that floodwaters float the bridge. Large trees, large boulders, or driven steel anchors can serve as anchors.

#### Temporary Culvert Crossing

1. The invert elevation of the culvert shall be installed on the natural streambed grade.
2. The culvert(s) shall extend a minimum of one foot beyond the upstream and downstream toe of the aggregate placed around the culvert. In no case shall the culvert exceed 40 feet in length.
3. The culvert(s) shall be covered with a minimum of one foot of aggregate. If multiple culverts are used, they shall be separated by a minimum of 12 inches of compacted aggregate fill.

#### MAINTENANCE

The structure shall be inspected after every rainfall and at least once a week, whether it has rained or not, and all damages repaired immediately after construction is finished, and the streambed and banks must be stabilized. Refer to specification BF - Buffer Zone.

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#### CONFIGURATION OF TEMPORARY CULVERT CROSSINGS

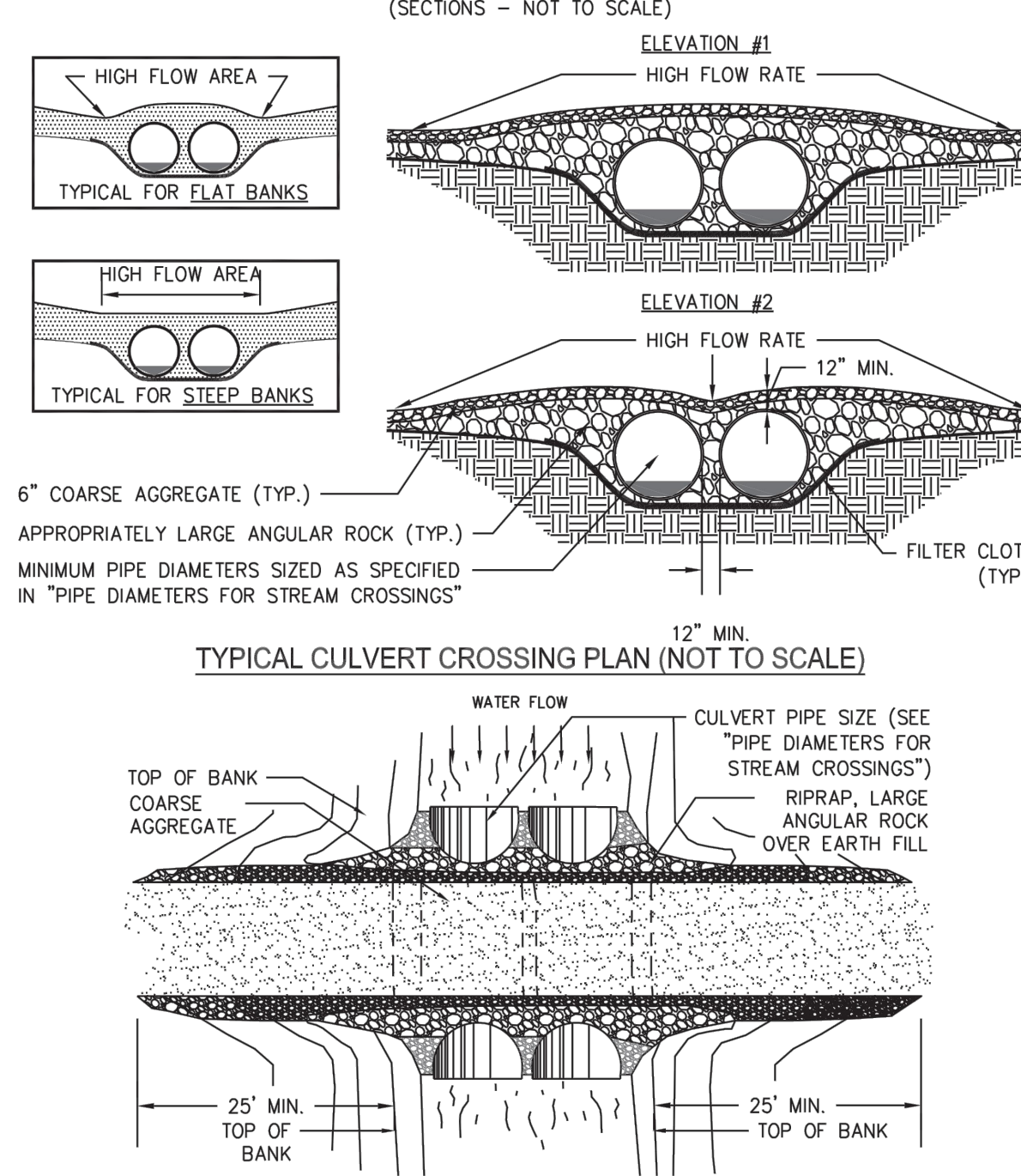


Figure 6-33.2

GSWCC 2016 Edition

6-205

**Water**

**Oldcastle Precast**

**Circular Reinforced Concrete Pipe**  
Model: Circular RCP

Inside Dia. (in.)	Bell Dia. (in.)	Wall Thickness (in.)	Joint Length (ft.)	Weight Per Foot (lbs./ft.)
12"	20.000"	2.75"	7.5'	135 lbs.
15"	23.875"	3.00"	7.5'	185 lbs.
18"	27.625"	2.50"	7.5'	192 lbs.
21"	31.625"	2.75"	7.5'	259 lbs.
24"	33.000"	3.00"	7.5'	276 lbs.
30"	39.000"	3.50"	8.0'	404 lbs.

Inside Dia. (in.)	Bell Dia. (in.)	Wall Thickness (in.)	Joint Length (ft.)	Weight Per Foot (lbs./ft.)
36"	45.500"	4.00"	8.0'	548 lbs.
42"	N/A	5.25"	8.0'	813 lbs.
48"	N/A	5.75"	8.0'	1000 lbs.
54"	N/A	6.25"	8.0'	1196 lbs.
60"	N/A	6.75"	8.0'	1485 lbs.
72"	N/A	7.75"	8.0'	2086 lbs.

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GSWCC 2016 Edition

6-202

**Water**

**Oldcastle Precast**

**Concrete Pipe Joint Details**  
Model: Joint Details

Inside Dia. (in.)	Joint Type	Gasket Type	Wall Thickness A (in.)	Pipe O.D. B (in.)	Bell O.D. C (in.)	Spigot Joint Dia. D (in.)	Bell Joint Dia. E (in.)	Joint Depth F (in.)	Joint Length G (in.)	Bell Length H (in.)
12"	Profile	125-4G	2.75"	17.50"	20.000"	15.230"	15.251"	3.563"	5.00"	5.00"
15"	Profile	HK135TSS	3.00"	21.00"	23.875"	18.219"	18.751"	3.563"	5.50"	5.50"
18"	Profile	HK135TSS	2.50"	23.00"	27.625"	21.844"	22.376"	3.750"	6.00"	6.00"
21"	Profile	HK135TSS	2.75"	26.50"	31.625"	25.344"	26.116"	3.750"	6.00"	6.00"
24"	Profile	HK135TSS	3.00"	30.00"	33.000"	27.188"	27.709"	3.500"	4.50"	4.50"
30"	Profile	HK201TSS	3.50"	37.00"	39.500"	33.479"	34.028"	3.500"	6.00"	6.00"
36"	Profile	HK135TSS	4.00"	44.00"	45.500"	39.479"	40.000"	3.500"	6.00"	6.00"
42"	Profile	HK185TSS	5.25"	52.50"	N/A	45.546"	46.000"	4.000"	N/A	N/A
48"	Profile	HK185TSS	5.75"	59.50"	N/A	52.046"	53.000"	4.000"	N/A	N/A
54"	Profile	HK201TSS	6.25"	66.50"	N/A	57.991"	58.709"	5.000"	N/A	N/A
60"	Profile	HK201TSS	6.75"	73.50"	N/A	64.491"	65.200"	5.000"	N/A	N/A
72"	Profile	O-Ring	7.75"	87.50"	N/A	79.047"	79.141"	4.250"	N/A	N/A

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**Water**

**Oldcastle Precast**

**Maximum Allowable Joint Gap**  
Model: Gap Detail

Inside Dia. (in.)	Joint Depth (in.)	Shoulder Depth (in.)	Factor of Safety (in.)	Bevel Depth (in.)	Max. Joint Gap (in.)
12"	3"	1 1/2"	1"	1 1/2"	1"
15"	3 1/2"	1 3/4"	1 1/4"	1 3/4"	1 1/4"
18"	4"	2"	1 1/2"	2"	1 1/2"
21"	4 1/2"	2 1/4"	1 3/4"	2 1/4"	1 3/4"
24"	5"	2 1/2"	2"	2 1/2"	2"
30"	6"	3"	2 1/2"	3"	2 1/2"
36"	7"	3 1/2"	3"	3 1/2"	3"
42"	8"	4"	3 1/2"	4"	3 1/2"
48"	9"	4 1/2"	4"	4 1/2"	4"
54"	10"	5"	4 1/2"	5"	4 1/2"
60"	11"	5 1/2"	5"	5 1/2"	5"
72"	14"	7"	6"	7"	6"

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**Water**

**Oldcastle Precast**

**Standard Pipe Culvert Concrete Headwall**

DIMENSIONS		FOOTING		CLASS "B" CONCRETE		STEEL REINFORCING
D	A	H	G	L	M	W
12"	12"	12"	12"	12"	12"	NONE
15"	15"	15"	15"	15"	15"	NONE
18"	18"	18"	18"	18"	18"	NONE
21"	21"	21"	21"	21"	21"	NONE
24"	24"	24"	24"	24"	24"	NONE
30"	30"	30"	30"	30"	30"	NONE
36"	36"	36"	36"	36"	36"	NONE
42"	42"	42"	42"	42"	42"	NONE
48"	48"	48"	48"	48"	48"	NONE
54"	54"	54"	54"	54"	54"	NONE
60"	60"	60"	60"	60"	60"	NONE

DEPARTMENT OF TRANSPORTATION  
STATE OF GEORGIA

STANDARD PIPE CULVERT CONCRETE HEADWALL

NO SCALE

DESIGNED BY: JDM  
CHECKED BY: DJ  
APPROVED BY: JDM

REV. & REOR. AUG. 1979

001-B

**JDM CONSULTANTS**

DESIGN CONSULTING  
CONSTRUCTION MANAGEMENT

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CONTRACTING & BUILDING

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SEAL:

10/27/2022

NO.	DATE	DESCRIPTION
1	6-21-2023	DESIGN MODIFICATIONS

PROJECT:

**208 OLYMPIC PLACE**

PARCEL ID: 15-213-01-026  
CITY OF DECATUR  
DEKALB COUNTY, GEORGIA

SHEET TITLE:

**STREAM X-ING DETAILS**

DESIGNED BY: JDM  
DRAWN BY: DJ  
CHECKED BY: DJ  
APPROVED BY: JDM

SCALE: AS SHOWN

DATE: 08-20-2022

PROJECT NO.:

SHEET:

**C4.0**

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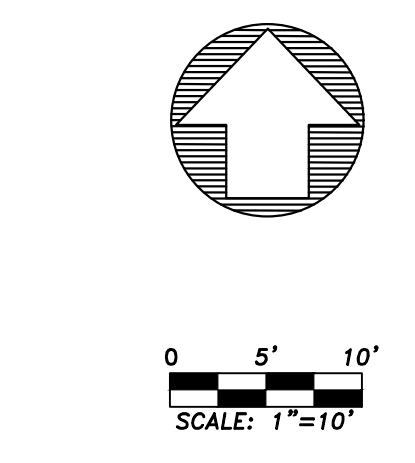
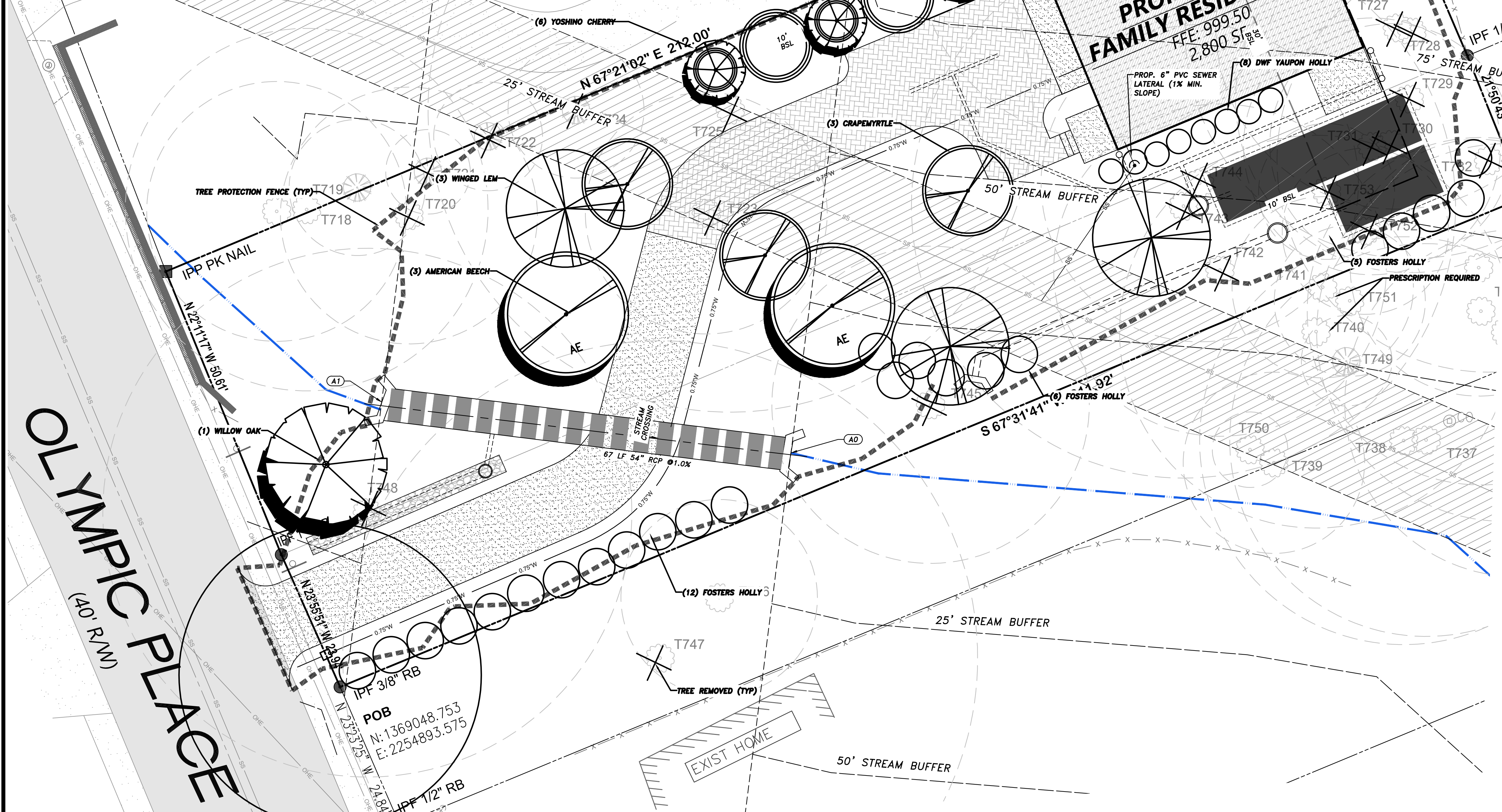
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TREE #	SIZE	TYPE	CRZ RAD	CRZ IMPACT	BOUNDARY TREE	LOST/SAVED/PREScription	EX. CANOPY (SF)
717	17	PECAN	21.25	1.3%	Y	SAVED	
718	24	PECAN	30	12.7%	Y	SAVED	
719	9	LEYLAND CYPRESS	11.25	7.5%	Y	SAVED	
720	17	WATER OAK	21.25	50.0%	N	DESTROYED	
721	7	LEYLAND CYPRESS	8.75	50.0%	N	DESTROYED	
722	9	LEYLAND CYPRESS	11.25	50.0%	N	DESTROYED	
723	16	PECAN	20	100.0%	N	DESTROYED	
724	9	LEYLAND CYPRESS	11.25	60.0%	N	DESTROYED	
725	40	WATER OAK	50	100.0%	N	DESTROYED	
726	24	RED MAPLE	30	100.0%	N	DESTROYED	
727	24	SWEET GUM	30	0.0%	N	DESTROYED	
728	30	SWEET GUM	37.5	0.0%	N	DESTROYED	
729	23	WATER OAK	28.75	100.0%	N	DESTROYED	
730	16	SWEET GUM	20	100.0%	N	DESTROYED	
731	17	SWEET GUM	21.25	100.0%	N	DESTROYED	
732	28	WATER OAK	35	40.0%	N	DESTROYED	
733	17	WATER OAK	21.25	7.9%	Y	SAVED	
734	23	HICKORY	28.75	9.0%	Y	SAVED	
735	25	RED MAPLE	31.25	6.7%	Y	SAVED	
736	23	RED MAPLE	28.75	0.0%	Y	POOR QUALITY	
737	26	WATER OAK	32.5	0.0%	Y	SAVED	
738	27	WATER OAK	33.75	0.0%	Y	SAVED	
739	12	RED MAPLE	15	0.0%	Y	SAVED	
740	26	WATER OAK	32.5	25.6%	Y	SAVED/PREScription REQUIRED	
741	12	SWEET GUM	15	24.9%	Y	SAVED/PREScription REQUIRED	
742	22	WATER OAK	27.5	100.0%	N	DESTROYED/POOR QUALITY	
743	36	WATER OAK	45	100.0%	N	DESTROYED	
744	21	WATER OAK	26.25	100.0%	N	DESTROYED	
745	21	PECAN	26.25	50.0%	N	DESTROYED	
746	13	BOXELDER	16.25	9.1%	Y	SAVED	
747	42	WATER OAK	52.5	29.1%	Y	DESTROYED / SRP IMPACT	
748	35	WATER OAK	43.75	100.0%	N	DESTROYED	
749	6	HOLLY	7.5	0.0%	Y	SAVED	
750	5	SOUTHERN MAGNOLIA	6.25	0.0%	Y	SAVED	
751	10	SWEET GUM	12.5	7.9%	Y	SAVED	
752	11	HICKORY	13.75	60.0%	N	DESTROYED	
753	9	SWEET GUM	11.25	100.0%	N	DESTROYED	

QTY	% TOTAL	COMMON NAME	BOTANICAL NAME	SIZE	COMMENTS	CANOPY PER TREE	TOTAL CANOPY
1	5%	WILLOW OAK	QUERCUS PHELLOS	2.5"	B&B	1600	1,600
3	14%	AMERICAN BEECH	FAGUS GRANDIFOLIA	2.5"	B&B	1600	4,800
3	14%	WINGED ELM	ULMUS ALATA	2.5"	B&B	1600	4,800
3	14%	NATCHEZ CrapeMYrtle	LAGERSTROEMIA INDICA	2.5"	B&B	150	450
5	24%	FLOWERING DOGWOOD	CORNUS FLORIDA	2.5"	B&B	400	2,000
6	29%	YOSHINO CHERRY	PRUNUS X YEDOENSIS	2.5"	B&B	400	2,400
21	100%						16,050
23		FOSTERS HOLLY	ILEX X ATTENUATA 'FOSTERI'	10-GAL			
8		DWF YAUPON HOLLY	ILEX VOMITORIA 'NANA'	3-GAL			

DESCRIPTION	VALUE
TOTAL ONSITE PRESERVED CANOPY	0
TOTAL PROPOSED CANOPY	16,050
SITE AREA (SF)	15,928
CANOPY REQUIRED (%)	60%
CANOPY REQUIRED	9,557
POST CONSTRUCTION CANOPY	16,050
POST CONSTRUCTION CANOPY (%)	101%



**SITE LEGEND**

---	EXISTING PROPERTY LINE
---	EXISTING RIGHT-OF-WAY
---	EXISTING SETBACK LINE
---	PROPOSED RIGHT-OF-WAY
---	PROPOSED SETBACK LINE
---	18" CURB AND GUTTER
---	STANDARD DUTY PAVING

**SITE AREA CALCULATIONS**

TOTAL PROPERTY AREA	15,928 SF (0.36 AC.)
TOTAL DISTURBED AREA	8,741 SF (0.20 AC.)

**LOT COVERAGE/IMPERVIOUS CALCS.**

-BLDG. ROOF AREA	1408 SF (0.03 AC.)
-PORCH AREA	266 SF (0.01 AC.)
-CONC. DRIVEWAY AREA	1,260 SF (0.03 AC.)
-**PERVIOUS PAVERS	875 SF (0.02 AC.)
TOTAL IMPERVIOUS AREA	2,934 SF (0.07 AC.)-18.7%
TOTAL PERVIOUS AREA	12,994 SF (0.29 AC.)-82.3%

\*\* NOT INCLUDED IN IMPERVIOUS TOTAL

**ZONING**

JURISDICTION	CITY OF DECATUR
ZONING CATEGORY	R-60 (SINGLE FAMILY RESIDENTIAL DIST.)

**DEVELOPMENT REQUIREMENTS**

FRONT YARD SETBACK	30'
SIDE YARD SETBACK	10'
REAR YARD SETBACK	30'
MIN. LOT WIDTH	60' (MIN.)
MIN. LOT AREA	9,000 SF (MIN.)
MAX. DENSITY	40% MAX (6,371 SF)
MAX. LOT COVERAGE	27.2% (4,332 SF)

- NOTES/IMPLICATIONS**
1. ARMY CORP "404 NATIONWIDE" PERMIT NEEDED FOR SECTION OF PIPE WITHIN STREAM AREA - TYPICAL 60-90 DAY PROCESS. (ALTERNATIVE OPTION OF BOTTOMLESS CULVERT TO REDUCE PERMITTING TIME.
  2. STREAM BUFFER ENCROACHMENT VARIANCE FOR LAND DISTURBANCE & GRADING WITHIN 50' UNDISTURBED BUFFER.
  3. REAR BUILDING SETBACK ENCROACHMENT VARIANCE NEEDED FOR RESIDENTIAL STRUCTURE.
  3. COORDINATION WITH DEKALB COUNTY WATERSHED MANAGEMENT FOR CONNECTION & DEPTH OF COVER REDUCTION ON PIPE.

**JDM CONSULTANTS**  
DESIGN CONSULTING CONSTRUCTION MANAGEMENT

P.O. BOX 366411  
ATLANTA, GA 30336  
(205) 266-1648  
darrell@jdmconsultantsllc.com  
jdmconsultantsllc@gmail.com  
www.jdmconsultantsllc.com

CLIENT:

**TROTTIS**  
CONTRACTING & BUILDING

THIS DRAWING IS THE PROPERTY OF JDM CONSULTANTS, LLC. IT IS ONLY TO BE USED FOR THE PROJECT AND LOCATION IDENTIFIED HEREIN. NO PART OF THIS DRAWING IS TO BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM BY MEANS ELECTRONIC, MECHANICAL, PHOTOCOPYING OR OTHERWISE WITHOUT THE PRIOR PERMISSION OF JDM CONSULTANTS, LLC.

SEAL:

**REVISIONS:**

NO.	DATE	DESCRIPTION
1	6-21-2023	DESIGN MODIFICATIONS
2	7-13-2023	DESIGN MODIFICATIONS
3	9-28-2023	DESIGN MODIFICATIONS
4	11-9-2023	DRIVEWAY MODIFICATIONS

PROJECT:

**208 OLYMPIC PLACE**

PARCEL ID: 15-213-01-026  
CITY OF DECATUR  
DEKALB COUNTY, GEORGIA

SHEET TITLE:

**LANDSCAPE PLAN**

DESIGNED BY: JDM  
DRAWN BY: DJ  
CHECKED BY: DJ  
APPROVED BY: JDM

SCALE: AS SHOWN  
DATE: 08-20-2022

PROJECT NO.:  
SHEET: **L1.0**

**GEORGIA811**  
www.Georgia811.com  
Know what's below. Call before you dig.

**208 OLYMPIC PLACE**  
(40' R.W.)

NOT ISSUED FOR CONSTRUCTION

# SINGLE-FAMILY HOME | NEW BUILD

208 OLYMPIC PLACE  
DECATUR, GA 30030

**SCOPE OF WORK:** CONSTRUCTION OF 3,085 SF NEW BUILD (3,655 SF WITH GARAGE)

**POINT OF CONTACT:**  
**ARTIS LISBON**

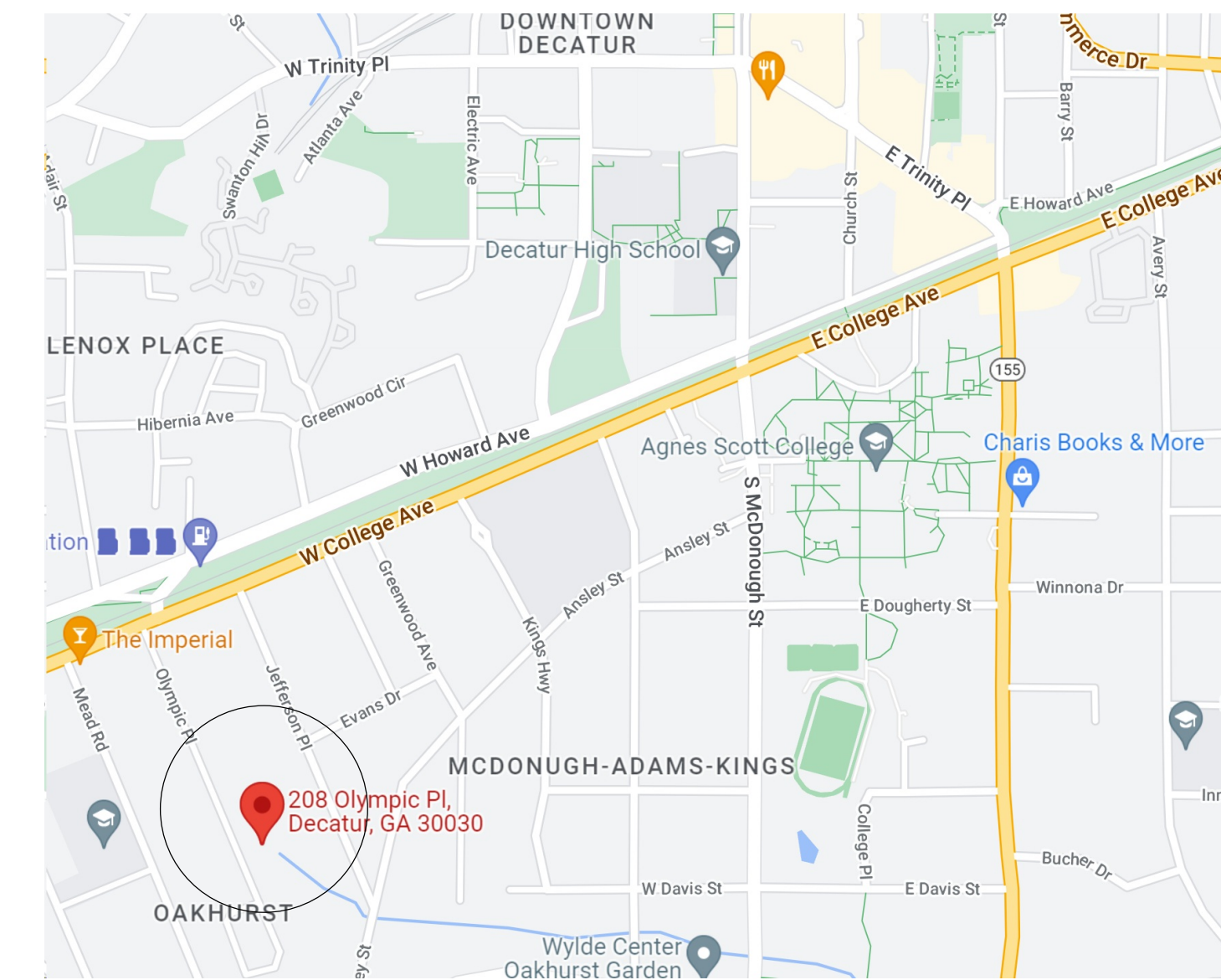
PHONE: ADD  
EMAIL: ADD

**ARCHITECT:**

NAME: ROBYN RENEE THOMAS - ROBYN STUDIOS ARCHITECTURE & INTERIORS, LLC  
ADDRESS: 8486 CAMPBELLTON ST. #2318 DOUGLASVILLE, GA 30133  
PHONE: 404-913-3661  
EMAIL: ROBYN@ROBYNSTUDIOS.COM



**PROJECT LOCATION:**



CONTRACT ADMINISTRATION SERVICES ARE NOT INCLUDED IN THE SCOPE OF WORK PROVIDED BY ROBYN STUDIOS. THEREFORE, ROBYN STUDIOS IS NOT RESPONSIBLE FOR INTERPRETING THE INTENT OF THE CONSTRUCTION DOCUMENTS, INCLUDING MAKING MODIFICATIONS AS MAY BE NECESSARY DURING THE CONSTRUCTION PHASE AND IS NO LONGER LIABLE FOR THE WORK WHERE CHANGES TO THESE DOCUMENTS HAVE BEEN MADE. THESE DRAWINGS ARE THE PROPERTY OF ROBYN STUDIOS AND MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION FOR ANY USE OTHER THAN THE COMPLETION OF THE PROJECT OUTLINED HEREIN.

**APPLICABLE CODES**

- Georgia State Minimum Standard Building Code (2018 INTERNATIONAL RESIDENTIAL CODE (IRC) WITH GA STATE AMENDMENTS) (2020)(2022)
- GEORGIA STATE MINIMUM STANDARD MECHANICAL CODE (2018 INTERNATIONAL MECHANICAL CODE (IMC) WITH GA STATE AMENDMENTS) (2020)
- Georgia State Minimum Standard Electrical Code (2020 National Electrical Code (NEC) PUBLISHED AS NFPA 70 with NO Georgia State Amendments) (2021)
- Georgia State Minimum Standard Energy Code (2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) with Georgia State Supplements and Amendments) (2020)(2022)
- Georgia State Minimum Standard Plumbing Code (2018 International Plumbing Code (IPC) with Georgia State Amendments) (2020)
- GEORGIA STATE MINIMUM STANDARD FUEL & GAS CODE (2018 INTERNATIONAL FUEL GAS CODE (IFGC) WITH GEORGIA STATE AMENDMENTS) (2020)(2022)
- NFPA 101 - LIFE SAFETY CODE 2018 EDITION WITH GA STATE AMENDMENTS (2020)

**BUILDING INFORMATION**

- CONSTRUCTION TYPE: TYPE V
- OCCUPANCY TYPE: SINGLE FAMILY RESIDENTIAL

**GENERAL NOTES**

1. ANY QUANTITY TAKE OFFS FOR THE PURPOSE OF ESTIMATING OR PURCHASING ARE SUBJECT TO FIELD VERIFICATION AND SHOULD NOT BE BASED SOLELY ON THESE DRAWINGS.
2. CONTRACTOR SHALL PROVIDE, AT MINIMUM, BUILDING GRADE MATERIALS. ALL MATERIALS SHALL BE NEW AND FREE OF DEFECT AND COMPLY WITH BUILDING CODES.
3. ALL ARCHITECTURAL, STRUCTURAL, ELECTRICAL, MECHANICAL, AND PLUMBING WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE NATIONAL AND LOCAL CODES AND ORDINANCES, WHETHER LISTED HEREIN OR NOT.
4. MATERIALS, DIMENSIONS, AND OTHER CONDITIONS NOT OTHERWISE INDICATED IN THESE DRAWINGS SHALL BE INTERPRETED AS HAVING THE SAME MEANING AS THOSE MOST SIMILARLY DETAILED AND MORE FULLY DEFINED ELSEWHERE IN THE DRAWINGS.
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**ISSUED FOR CONSTRUCTION**

**DATE:**  
**12/12/2022**

**PREPARED FOR:**  
**TROTTI'S CONTRACTING & BUILDING, LLC**

**PROJECT:**  
**SINGLE FAMILY CONCEPTUAL DRAWINGS**

**208 OLYMPIC PL.,  
DECATUR, GA 30030**

**TITLE PAGE**

**T-01**

**ABBREVIATIONS**

ABV	ABOVE	DIA.	DIAMETER	HORIZ.	HORIZONTAL	PLAM	PLASTIC LAMINATE	SCHED.	SCHEDULE
ACT	ACOUSTICAL CEILING TILE	DIAG.	DIAGONAL	HT.	HEIGHT	PLMB	PLUMBING	SF	SQUARE FOOT
ADD'L	ADDITIONAL	DIM.	DIMENSION	HVAC	HEATING/VENTILATING/AIR CONDITIONING	PLYWD	PLYWOOD	SIM.	SIMILAR
A.F.F.	ABOVE FINISHED FLOOR	DN	DOWN	HW	HOT WATER HEATER	PNT	PAINT	SPECS	SPECIFICATION(S)
ADJ.	ADJUSTABLE	DTL	DETAIL			PNTD	PAINTED	STD.	STANDARD
AHJ	AUTHORITY HAVING JURISDICTION (PERMITTING)	DWG.	DRAWING			PSI	POUNDS PER SQUARE INCH	STOR.	STORAGE
ALT.	ALTERNATE			INCL	INCLUDE(D)(ING)	PSF	POUNDS PER SQUARE FOOT	TEMP	TEMPORARY
ALUM.	ALUMINUM	EJ	EXPANSION	INFO	INFORMATION	R.T.	PRESSURE TREATED	T.O.M.	TOP OF MASONRY
APPROX.	APPROXIMATELY	EL	ELEVATION	INSUL	INSULATION	QTY.	QUANTITY	T.O.S.	TOP OF STEEL
ARCH.	ARCHITECTURAL	ELEC.	ELECTRICAL	INT.	INTERIOR	RAD.	RADIUS	T.O.W.	TOP OF WALL
		EQ.	EQUAL			RCP	REFLECTED CEILING PLAN	TYP	TYPICAL
BLDG.	BUILDING	EQUP.	EQUIPMENT	JNT	JOINT	RD	ROOF DRAIN	UNF	UNFINISHED
BLKG.	BLOCKING	EXIST.	EXISTING	JST	JOIST	REF	REFERENCE	U.N.O.	UNLESS OTHERWISE NOTED
BOT.	BOTTOM	EXT.	EXTERIOR	JB	JUNCTION BOX	REINF	REINFORCE(D)(ING)	VCT	VINYL COMPOSITION TILE
				LF	LINEAR FOOT	REQD	REQUIRED	V.I.F.	VERIFY IN FIELD
CAB.	CABINET	FE	FIRE EXTINGUISHER			REV	REINFORCEMENT	VERT	VERTICAL
C/C	CENTER TO CENTER	FFE	FINISHED FLOOR ELEVATION			RM.	ROOM	W/	WITH
QNTR	CENTER	FND	FOUNDATION			R.O.	ROUGH OPENING	W/O	WITHOUT
C.J.	CONTROL JOINT	F.O.F.	FACE OF FINISH	MAT'L	MATERIAL				
CPT	CARPET	F.O.M.	FACE OF MASONRY	MAX.	MAXIMUM				
CL	CENTERLINE	F.O.S.	FACE OF STUDS	MECH.	MECHANICAL				
CLG.	CEILING	FT.	FOOT	MFR.	MANUFACTURER				
CLR.	CLEAR	FV.	FIELD VERIFIED	MIN.	MINIMUM				
CMU	CONCRETE MASONRY UNIT			MISC.	MISCELLANEOUS				
COL.	COLUMN			MTL.	METAL				
CONC.	CONCRETE	GB	GRAB BAR						
CONST	CONSTRUCTION	GC	GENERAL CONTRACTOR	NTS	NOT TO SCALE				
CONT.	CONTINUOUS	GEN'L	GENERAL	O.C.	ON CENTER				
CT.	CERAMIC TILE	GWB	GYPSUM WALL BOARD						

**DRAWING LIST**

**ARCHITECTURAL**

LABEL	TITLE
T-01	TITLE PAGE
T-02	GENERAL NOTES
A-01	FLOOR PLANS
A-02	ROOF PLANS
A-03	ELEVATIONS
A-04	3D EXTERIOR VIEWS

## GENERAL NOTES

### MISCELLANEOUS NOTES:

1. ANY QUANTITY TAKE OFFS FOR THE PURPOSE OF ESTIMATING OR PURCHASING ARE SUBJECT TO FIELD VERIFICATION AND SHOULD NOT BE BASED SOLELY ON THESE DRAWINGS.
2. DO NOT SCALE DRAWINGS FOR MEASUREMENTS. USE DIMENSIONS AS SHOWN ON THE DRAWINGS.
3. CONTRACTOR SHALL PROVIDE, AT MINIMUM, BUILDING GRADE MATERIALS. ALL MATERIALS SHALL BE NEW AND FREE OF DEFECT AND COMPLY WITH BUILDING CODES.
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8. PREFABRICATED FIREPLACES AND FLUES ARE TO BE U.L. APPROVED AND INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
9. ALL MATERIALS, SUPPLIES AND EQUIPMENT TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS AND PER LOCAL CODES AND REQUIREMENTS.
10. PROVIDE PROPER INSULATION FOR ALL PLUMBING.
11. INSTALL 1/2" WATER-RESISTANT DRYWALL AROUND SHOWERS, TUBS, AND WHIRLPOOLS AND AT SINK BACKSLASHES.
12. INSTALL 1/2" DRYWALL ON INTERIOR WALLS AND CEILINGS.
13. INSTALL 5/8" TYPE "X" FIRE CODE DRYWALL ON GARAGE WALLS AND CEILINGS.
14. WHEN NO BRAND IS SPECIFIED, WINDOWS ARE CALLED OUT BY GLASS SIZE ONLY.
15. IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING UNIT IS LOCATED LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR AND GREATER THAN 72 INCHES ABOVE THE FINISHED GRADE, FALL PROTECTION MUST COMPLY WITH R312.2.1.
16. WINDOW OPENING CONTROL DEVICES ON WINDOWS SERVING AS A REQUIRED EMERGENCY ESCAPE AND RESCUE SHALL COMPLY WITH ASTM F2090.
17. WINDOWS, IF NOT NOTED, ARE ASSUMED TO BE SINGLE-HUNG.
18. HEADER HEIGHTS ARE LABELED TO BOTTOM OF ARCHED TRANSOMS.
19. CONFIRM WINDOW OPENINGS FOR CODE EGRESS REQUIREMENTS AND MINIMUM LIGHT AND VENTILATION REQUIREMENTS.
20. HEADROOM AT STAIRS SHALL HAVE A MINIMUM CLEARANCE OF 6-8" HIGH.
21. PROVIDE PROPER HANDRAILS AT STAIRS PER CODE.
22. THE MECHANICAL AND ELECTRICAL LAYOUTS ARE SUGGESTED ONLY AND ARE TO BE VERIFIED BY THE CONTRACTOR'S RETAINED MECHANICAL AND ELECTRICAL CONTRACTORS AND/OR ENGINEERS FOR EXACT SPECIFICATIONS, LOCATIONS AND SIZES.
23. JOG FLUE TO REAR OF RIDGE AS NECESSARY.
24. PROVIDE PROPER WIRING OR ALL ELECTRICAL APPLIANCES, MECHANICAL EQUIPMENT AND WHIRLPOOLS PER MANUFACTURER'S SPECIFICATIONS.
25. AIR CONDITIONER LOCATIONS MAY VARY DEPENDING ON RESTRICTIVE COVENANTS AND CODES.
26. ALL DIMENSIONS MUST BE FIELD VERIFIED PRIOR TO THE COMPLETION OF ANY WORK.
27. THE CONTRACTOR SHALL NOT AUTHORIZE WORK IN THE FIELD UNTIL DRAWINGS (FULL PAGES, SETS, OR SUPPLEMENTAL SKETCHES) WITH FINALIZED ORDER INFORMATION HAVE ISSUED. SHOULD THE CONTRACTOR PROCEED WITHOUT REVISED DRAWINGS, THE ARCHITECT IS NOT LIABLE FOR ANY COSTS OR DELAYS FOR THE CORRECTION OF SUCH WORK.

### FRAMING:

FIELD ADJUST DROPPED SOFFIT CEILING TO CAPTURE FINAL LOCATION OF LOW HANGING DUCTWORK AND FOR HIGHEST CEILING HEIGHT POSSIBLE.

FRAME DROPPED CEILINGS SO THAT EACH AREA HAS NO MORE THAN TWO FINISHED CEILING HEIGHTS. DO NOT FRAME "BOXED" SOFFITS THAT CAPTURE ISOLATED LOW DUCT/PIPES.

PROVIDE BLOCKING IN BATHROOMS FOR FUTURE INSTALLATION OF GRAB BARS AROUND: TOILETS, SHOWERS, & BATHTUBS, 1003.11.2

FOUNDATION SUPPORTED WOOD TO EXTEND MIN. 6" ABOVE FINISHED GRADE

### LUMBER & MATERIAL NOTES

ALL FRAMING LUMBER TO BE HEM FIR#2 & BETTER.  
POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE DF#2.  
SILLS, PLATES, BLOCKING, AND BRIDGING TO BE DF#2.  
ALL STUDS TO BE DF#2 OR BETTER

LUMBER, PLYWOOD, PRESERVATIVE TREATED LUMBER, AND OTHER WOOD-BASED PRODUCTS MUST HAVE A GRADE MARK OR CERTIFICATE OF INSPECTION ISSUED BY AN APPROVED AGENCY. LUMBER SHALL BE PROTECTED AGAINST ROT & DECAY PER IRC SEC R317.

FOR ALL PRESSURE PRESERVATIVE & FIRE-RETARDANT TREATED WOOD USE TREATMENT RATED CONNECTORS & HOT-DIPPED GALVANIZED, STAINLESS STEEL, SILICON BRONZE OR COPPER FASTENERS PER IRC R317

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**ISSUED FOR  
CONSTRUCTION**

**DATE:  
12/12/2022**

**PREPARED FOR:**

**TROTTI'S CONTRACTING  
& BUILDING, LLC**

**PROJECT:  
SINGLE FAMILY  
CONCEPTUAL  
DRAWINGS**

**208 OLYMPIC PL.  
DECATUR, GA 30030**

**GENERAL NOTES**

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**ISSUED FOR CONSTRUCTION**

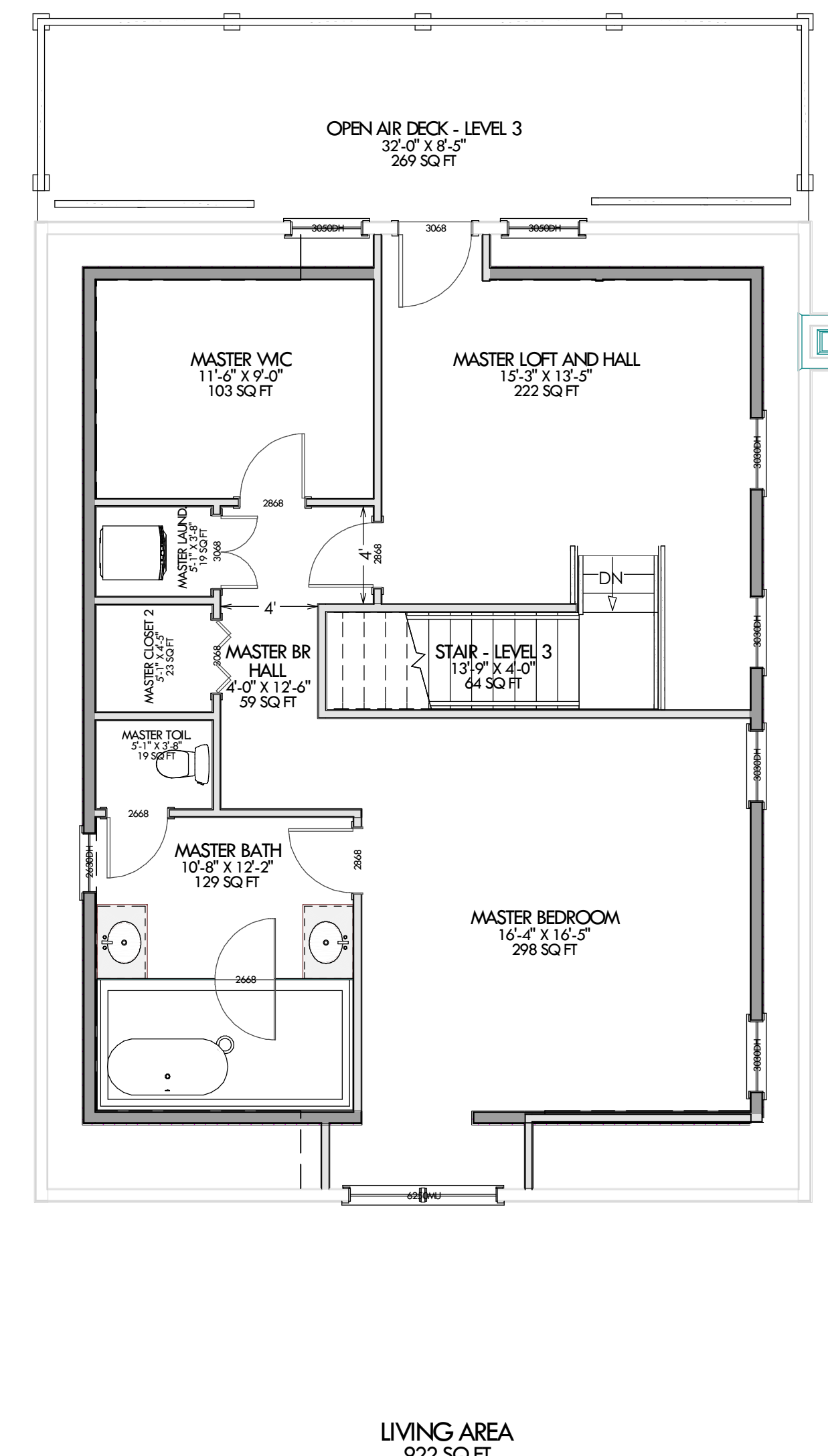
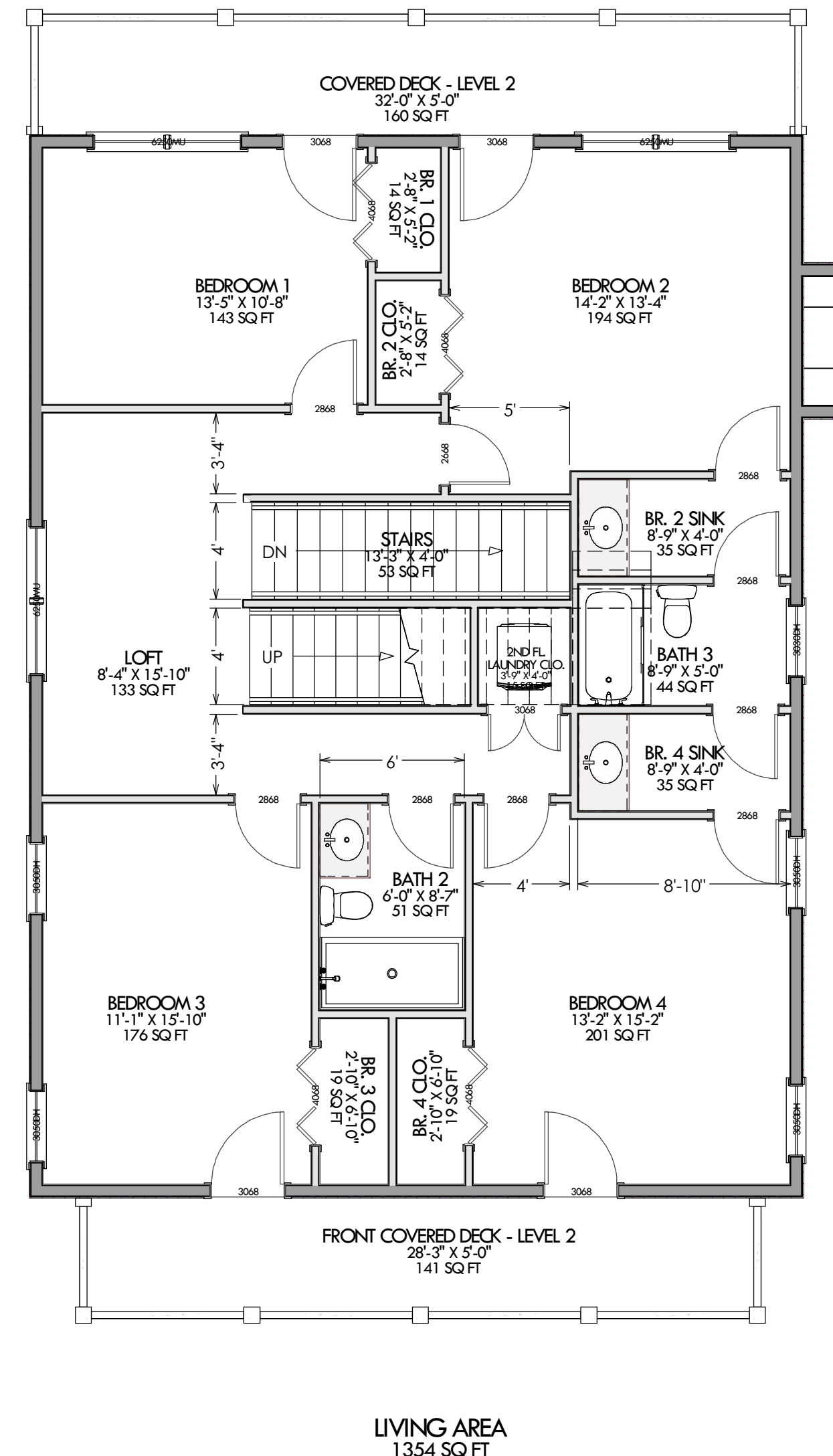
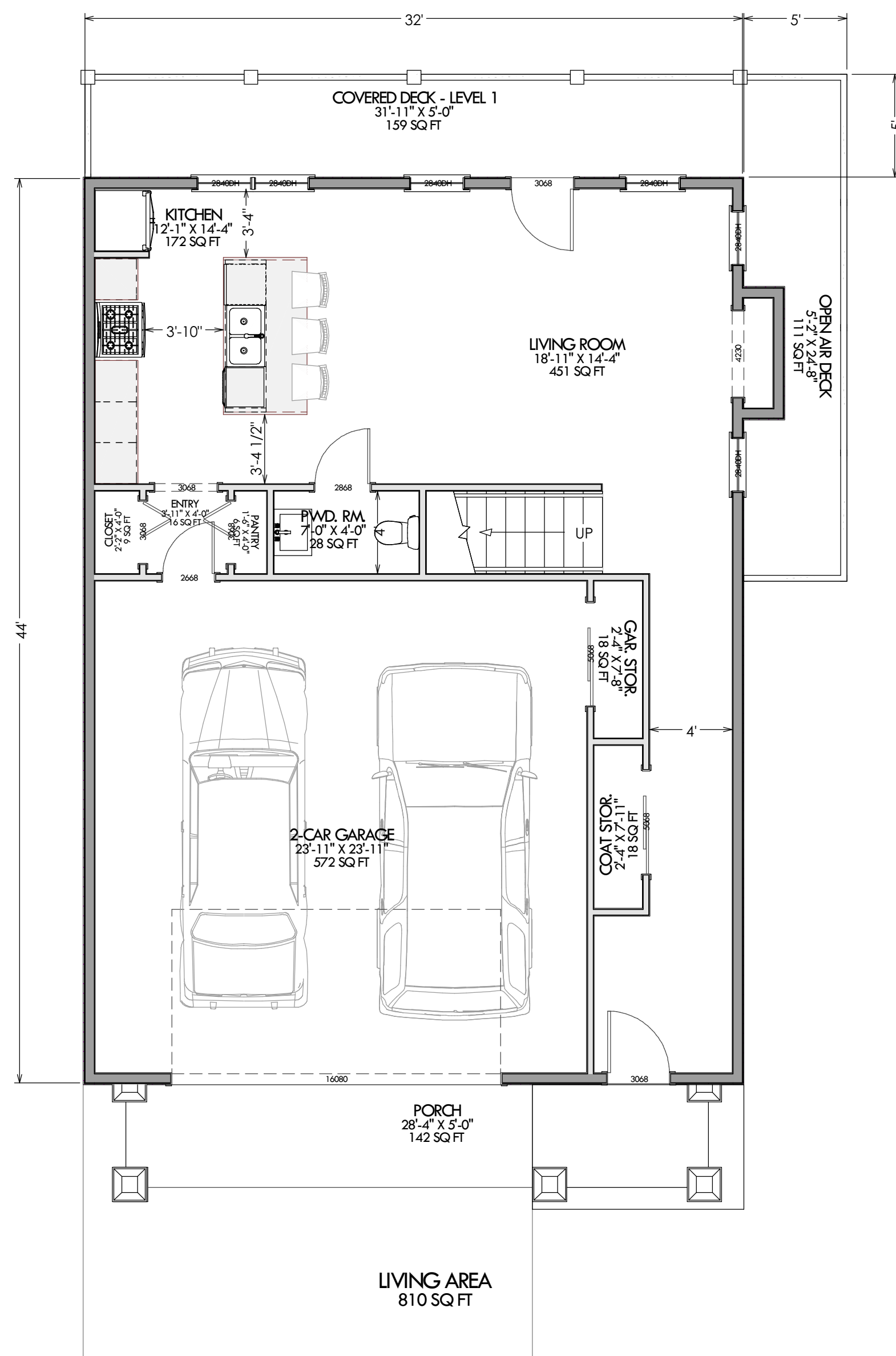
**DATE:**  
12/12/2022

**PREPARED FOR:**  
**TROTTI'S CONTRACTING & BUILDING, LLC**

**PROJECT:**  
**SINGLE FAMILY CONCEPTUAL DRAWINGS**

**208 OLYMPIC PL.**  
**DECATUR, GA 30030**

**FLOOR PLANS**



1 - FLOOR PLAN - FLOOR 1

SCALE: 3/16"=1'-0"

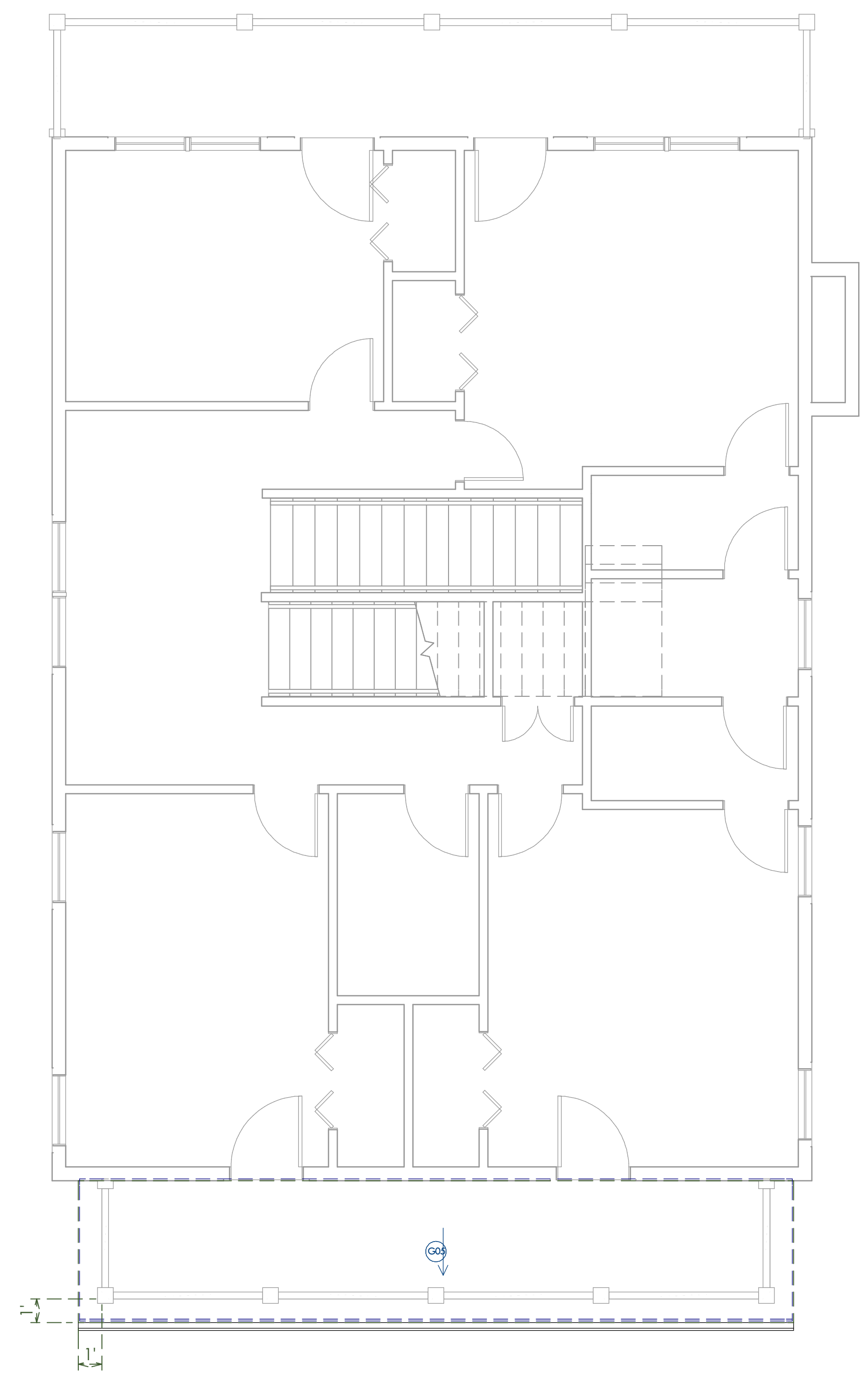
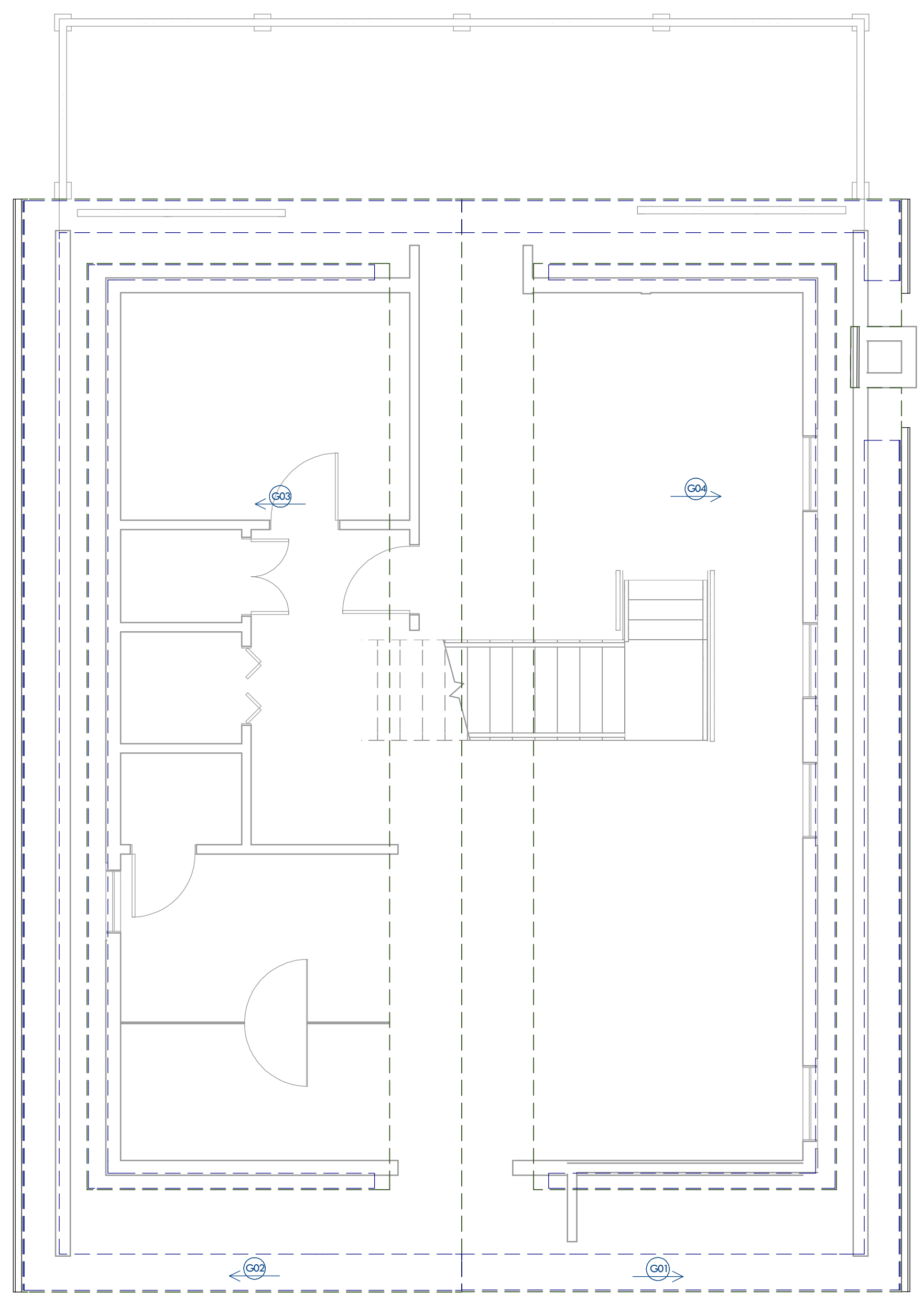
2 - FLOOR PLAN - FLOOR 2

SCALE: 3/16"=1'-0"

3 - FLOOR PLAN - FLOOR 3

SCALE: 3/16"=1'-0"

ROOF PLANE SCHEDULE			
NUMBER	PITCH	AREA, SURFACE (SQ FT)	LOCATION
G01	10 : 12	459.58	FLOOR 3 - WHOLE HOUSE
G02	10 : 12	466.99	FLOOR 3 - WHOLE HOUSE
G03	2 : 12	448.04	SHED DORMERS
G04	2 : 12	448.58	SHED DORMERS
G05	4 : 12	191.49	FRONT PORCH



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**TROTTI'S CONTRACTING & BUILDING, LLC**

**PROJECT:**  
**SINGLE FAMILY CONCEPTUAL DRAWINGS**

**208 OLYMPIC PL.**  
**DECATUR, GA 30030**

**ROOF PLANS**



1 - ROOF PLAN - FLOOR 3

SCALE: 1/4"=1'-0"

2 - ROOF PLAN - FLOOR 1

SCALE: 1/4"=1'-0"

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SINGLE FAMILY CONCEPTUAL DRAWINGS

208 OLYMPIC PL.  
DECATUR, GA 30030

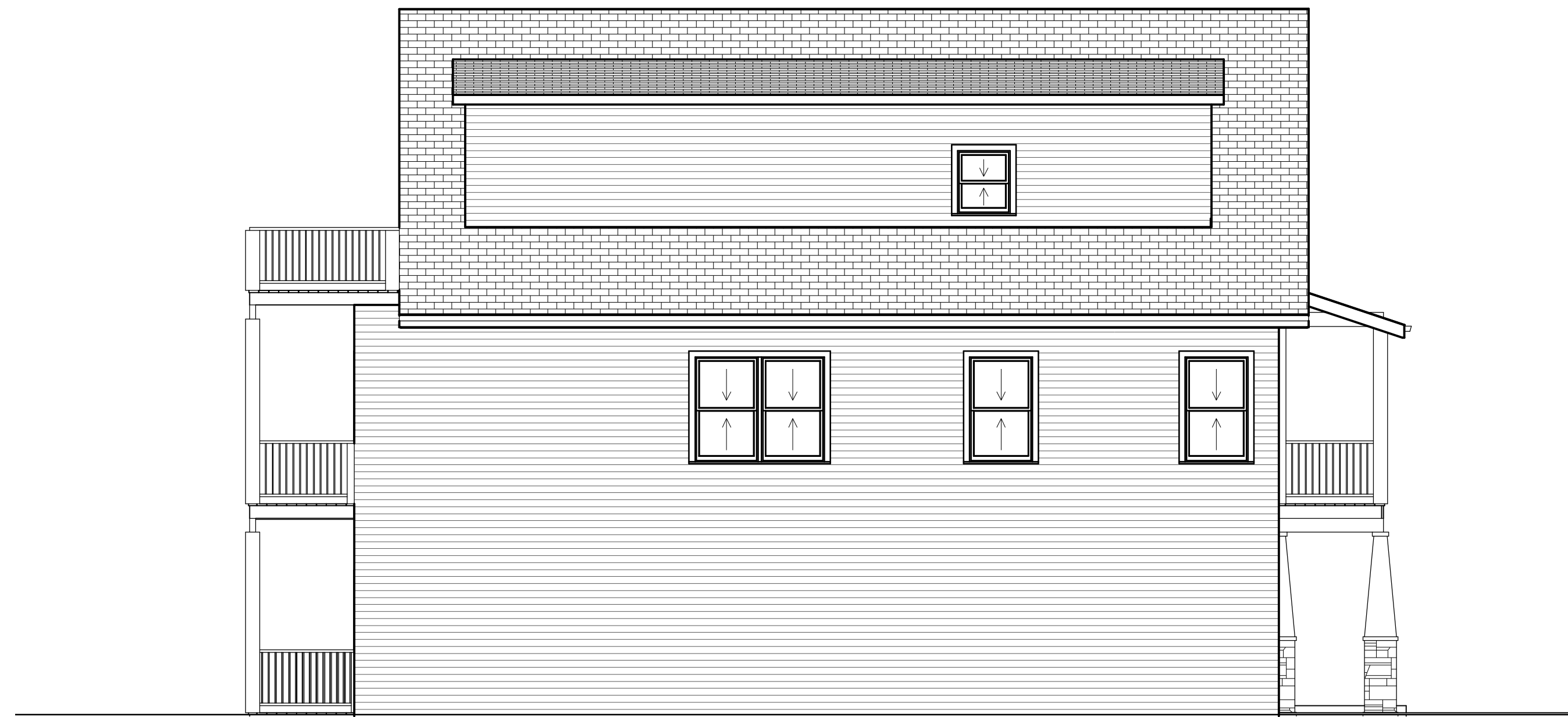
**ELEVATIONS**

**A-03**



1 - SOUTH ELEVATION

SCALE: 3/16"=1'-0"



2 - EAST ELEVATION

SCALE: 3/16"=1'-0"



3 - NORTH ELEVATION

SCALE: 3/16"=1'-0"



4 - WEST ELEVATION

SCALE: 3/16"=1'-0"

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**ISSUED FOR  
CONSTRUCTION**

**DATE:  
12/12/2022**

**PREPARED FOR:  
TROTTI'S CONTRACTING  
& BUILDING, LLC**

**PROJECT:  
SINGLE FAMILY  
CONCEPTUAL  
DRAWINGS**

**208 OLYMPIC PL.  
DECATUR, GA 30030**

**3D EXTERIOR  
VIEWS**

