

VARIANCE APPLICATION

Planning & Zoning

2635 Talley Street
Decatur, GA 30030
Phone 404-377-6198
Fax 404-378-5054



Attach a survey of the property drawn to scale and showing the following information. Please provide one full-size copy of all plans, as well as one copy of all plans in an 8½" x 11" format. It is helpful to show floor plans and elevations of proposed building improvements, as well as a letter of support from adjacent property owners. If the applicant is not the current property owner, provide a notarized authorization for this application from the current property owner. See the stream variance submittal checklist for additional requirements for stream variances.

1. all property lines with dimensions
2. location of buildings and other structures, creeks and easements referenced to property lines
3. north arrow, scale, lot and block numbers and land lot
4. topographic and drainage information if pertinent

Address of property 102 5th Avenue Decatur, GA 30030

Name of applicant Derek Bigham Phone 404-234-8520

Address PO Box 956012 City/state/ZIP Decatur, GA 30033

Email derek@invest2911.com

Name of property owner 2911 Investment Group LLC Phone 404-234-8520

Address PO Box 956012 City/state/ZIP Decatur, GA 30033

Current zoning of property R-60

Please answer all of the following questions on a separate sheet.

1. What is the variance requested? What code requirement do you wish to vary from?
2. What are the special conditions relating to the specific piece of property in question (narrowness, shallowness, shape, topography, or other extraordinary and exceptional situation)?
3. Explain how the application of the zoning ordinance to this specific piece of property results in peculiar, extraordinary and practical difficulties?
4. Are the circumstances or conditions applying to the building or land in question peculiar to the premises? Do they apply generally to other land or buildings in the vicinity?
5. Explain why the granting of this variance is necessary for the preservation and enjoyment of a property right and does not merely serve as a convenience to the applicant.
6. Did the condition for which the variance is sought result from an action by the applicant?
7. Explain how the variance will affect the supply of light and air to adjacent property, the traffic on public streets, the danger of fire, the public safety and established property values.
8. Explain how the granting of the variance will be in harmony with the general purpose and intent of the Decatur land use plan.
9. Will the granting of the variance allow a structure or use in a district restricted against such structure or use?

I hereby certify that the above and attached statements and documents are true to the best of my knowledge and belief.

Applicant signature  Date 7/3/2023

1. What is the variance requested? What code requirement do you wish to vary from?
 - Front, side, and backyard setback variance. This request is for the front yard setback to be approved at 15', the side yards to be approved at 7'3" on facing street and the 3'10 1/2 on interior side rear to be approved at 6' from adjacent property line.

2. What are the special conditions relating to the specific piece of property in question (narrowness, shallowness, shape, topography, or other extraordinary and exceptional situation)?
 - The piece of property is a lot of record which previously contained a structure that has since been demolished. The piece of land is an awkwardly shaped, small corner lot that abuts a vacant lot owned by the city and backs up to the back of a property with an expansive back yard. The lot is narrow and shallow.

3. Explain how the application of the zoning ordinance to this specific piece of property results in peculiar, extraordinary and practical difficulties?
 - The application of zoning ordinances to this property would render it unusable. Without a variance approval, the allowed structure would be too impractical to build.

4. Are the circumstances or conditions applying to the building or land in question peculiar to the premises? Do they apply generally to other land or buildings in the vicinity?
 - The lot is a uniquely shaped lot and is unlike any of the surrounding lots. The lot is not a perfect rectangular lot. Further, the lot is not immediately adjacent to any other lots, therefore uniformity would not be affected by allowing the requested variances.

5. Explain why the granting of this variance is necessary for the preservation and enjoyment of a property right and does not merely serve as a convenience to the applicant.
 - The lot previously held a 2-story structure which was demolished. The current ordinances would not allow for a usable home to be built on the property as the setbacks would be too restrictive.

6. Did the condition for which the variance is sought result from an action by the applicant?
 - No.

7. Explain how the variance will affect the supply of light and air to adjacent property, the traffic on public streets, the danger of fire, the public safety and established property values.

- The variance would allow for more square footage for the proposed property allowing for more light. I would not affect any adjacent properties as the proposed building is a one-story single family home which will fit into the look of the neighborhood. There are no extraordinary dangers of fire, public safety, or established property values.

8. Explain how the granting of the variance will be in harmony with the general purpose and intent of the Decatur land use plan.

- The proposed property will be a smaller new construction within the City of Decatur. The anticipated price point would be well below \$500,000. With the affordable housing crisis impacting the nation, and Decatur in particular, this home could serve as a model for builders, developers, homeowners, officials, and other parties to the possibilities of efficiency, usability, while maintaining profitability. Sub-\$500,000 homes in Decatur would serve the city's goal of economic diversity.

9. Will the granting of the variance allow a structure or use in a district restricted against such structure or use?

- No

Tree Conservation Ordinance

Pre-Application Meeting

Date: 4/19/23

Design, Environment
& Construction
2635 Talley St. Decatur, Georgia 30030
Phone: 678-553-6527



The purpose of this meeting is to provide options for how a property owner can comply with the Tree Conservation Ordinance requirements for the City of Decatur (Unified Development Ordinance). The meeting will review all available resources submitted by the applicant.

Applicant Name: Derek Bigham Email: _____

Address of project: 102 5th Ave

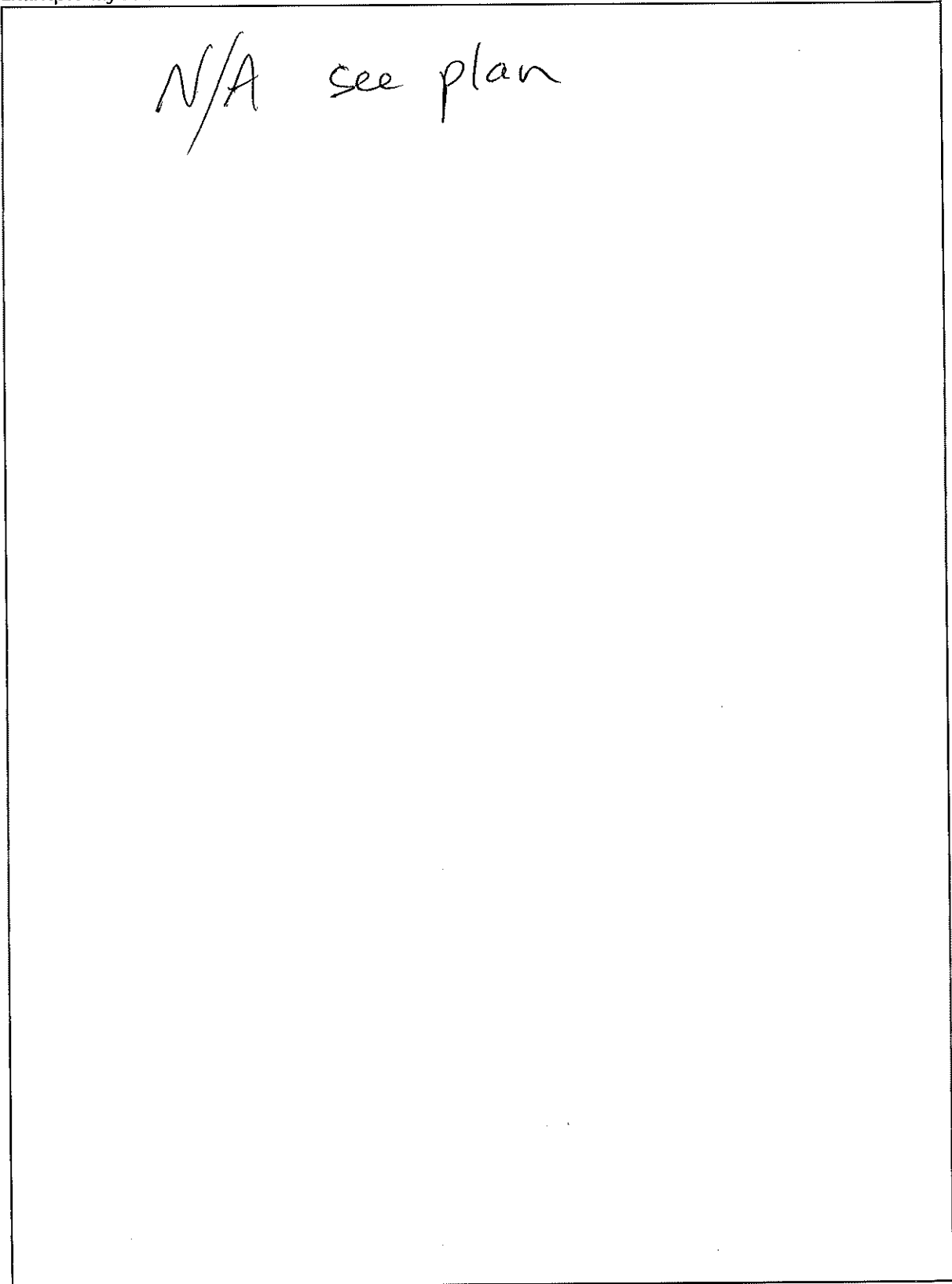
Commercial ___ Residential Zoning R-60 Lot size 1,846 sqft

Points Discussed: No tree exist on this lot

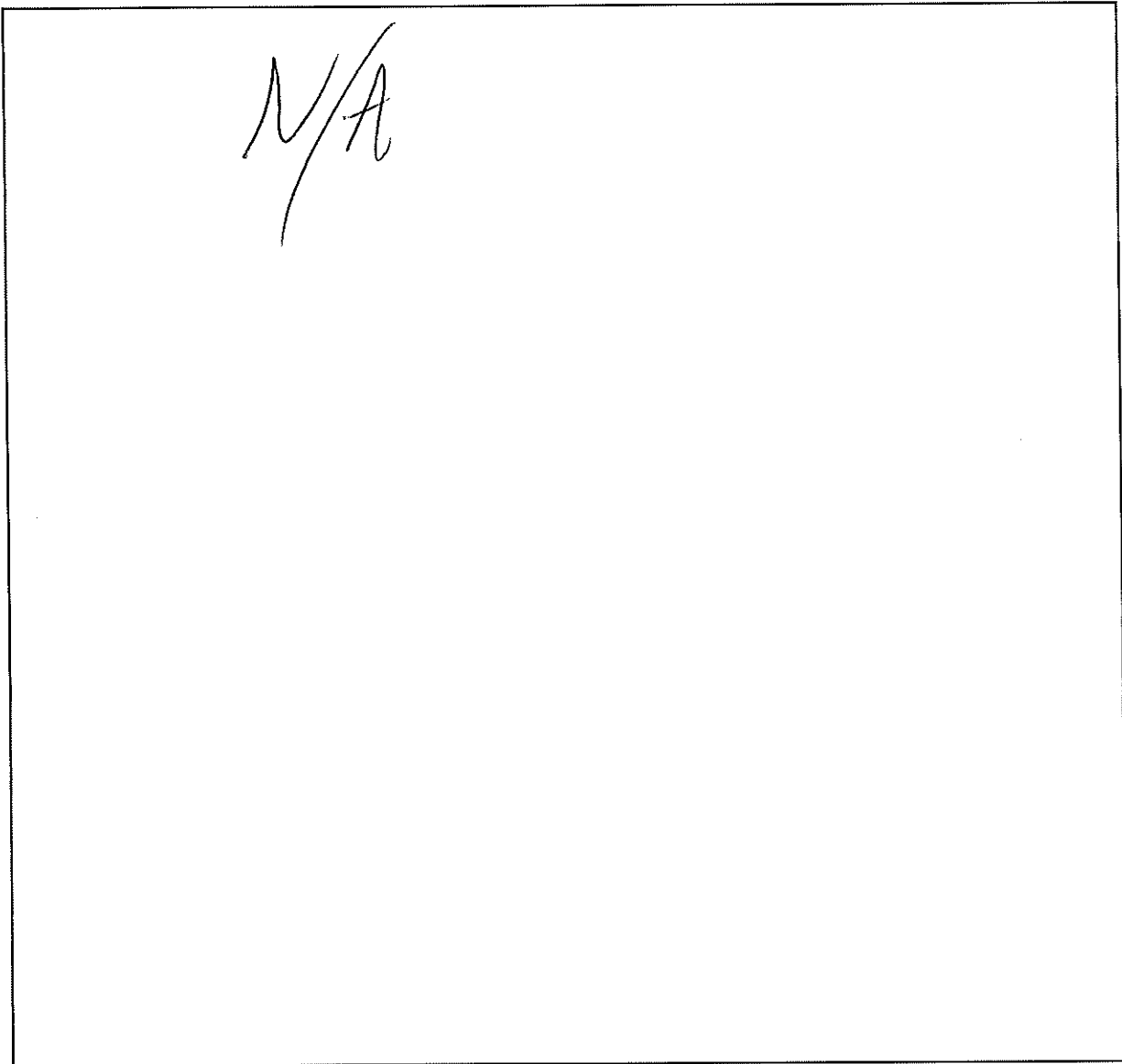
- No Land Disturbance or Building Permit shall be issued without an approved Tree Conservation Plan unless the City Arborist has approved a No Tree Impact Statement.
- No more than 20% of the critical root zone of a protected tree may be disturbed during any project without prior approval of a certified arborist's tree prescription by the City Arborist.
- All existing trees in fair or better condition greater than 4 inches Diameter at Breast Height (DBH) are eligible for tree canopy cover credit. Invasive and poor-rated trees are not be eligible for tree canopy cover credit. Trees adversely impacted by invasive plants (e.g., English ivy, wisteria, kudzu and similar plants) will not receive tree canopy cover credit until such vines are removed or remediated. The crowns of existing understory trees as defined in the Tree Species List may be credited at half their combined crown area and included in the tree canopy cover measurement.
- For properties zoned R-85, ~~R-60~~ and R-50 that require a land disturbance permit or where impervious area is increased, a minimum amount of 60% tree canopy cover from trees in fair or better-rated condition shall be required and no less than 75% of the existing tree canopy cover from trees in fair or better-rated condition shall be conserved. - no trees
- For properties zoned RS-17, RM-18, RM-22, RM-43, PO, C-1, C-2, C-3, MU, NMU, and I, a minimum of 45% tree canopy cover from trees in fair or better-rated condition shall be required on public and private properties. Where such properties require a land disturbance permit or where impervious area is increased, a minimum of 50% of the existing tree canopy cover from trees in fair or better-rated condition shall be conserved.
- All tree canopy from Landmark trees (Sec. 9.1.15) shall be conserved.
- Planting of replacement trees is required to maintain no net loss of tree canopy, including at least one tree planted in the front yard of a single-family dwelling property or in an adjacent public right-of-way. Exceptions may be considered for a front yard of an R-85, R-60 or R-50 zoned property with trees present. - no trees
- Land disturbance and grading on single-family residential zoned properties (R-85, R-60, R-50) shall be limited to no more than 125% of the total lot coverage permitted by zoning regulations. Limits of grading and land disturbance that shall be shown on plans. Require (tree fence), silt fence or other barrier to protect no disturbance area. yes (neighbors tree)

- ✓ Show Critical Root Zone- CRZ (circle having a radius of 1.25' for each one inch of tree DBH).
- Survey of all trees on the property whose CRZ is impacted by demolition or new structures. Tree locations must be accurately shown and identified by species and DBH. All trees 4" DBH or greater must be shown on the drawing. *no trees*

Example layout:



Alternative design sketch:



Proceed with Tree ratings and submit tree plan Yes No ^{tree} No

Recommended Actions:

Rough calculations / 2 - 2.5" caliper trees large canopy must be planted
Limit land disturbance to 923 sq ft or apply for variance

City Staff Attending:

- Kay Evanovich, City Arborist Kay.evanovich@decaturga.com
- India Woodson, Arborist India.woodson@decaturga.com

CODE COMPLIANCE

- INTERNATIONAL BUILDING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL FIRE CODE, 2018 EDITION (CONTACT STATE FIRE MARSHAL BELOW)
- INTERNATIONAL PLUMBING CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL MECHANICAL CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- INTERNATIONAL FUEL GAS CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)
- NATIONAL ELECTRICAL CODE, 2020 EDITION (NO GEORGIA AMENDMENTS)
- INTERNATIONAL ENERGY CONSERVATION CODE, 2015 EDITION, WITH GEORGIA SUPPLEMENTS AND AMENDMENTS (2020)
- INTERNATIONAL SWIMMING POOL AND SPA CODE, 2018 EDITION, WITH GEORGIA AMENDMENTS (2020)

CODE REQUIREMENTS

- ALL CONSTRUCTIONS TO BE IN ACCORDANCE WITH THE APPLICABLE CODES, REGULATIONS AND ORDINANCES OF THE LOCAL CODES.
- CONTRACTOR TO FIREPROOF AS REQUIRED BY THE LOCAL CODES
- CONTRACTOR TO BE RESPONSIBLE THAT ALL CONSTRUCTION AND MATERIAL SELECTION CONFORM WITH ALL CODES, REGULATIONS AND ORDINANCES OF FEDERAL, STATE, AND LOCAL CODES
- THE CONTRACTOR TO HAVE A LICENSED SURVEYOR TO LAYOUT THE EXISTING AND PROPOSED BUILDING AND SETBACK LINES BEFORE STARTING CONSTRUCTION AND DIGGING FOUNDATIONS.
- THE CONTRACTOR IS TO VERIFY THE STRUCTURE IS IN COMPLIANCE WITH THE ZONING AND SETBACKS
- THE CONTRACTOR TO PROVIDE ALL REQUIRED BUILDING PERMITS BEFORE STARTING ANY WORK. CONTRACTOR TO PROVIDE ALL CERTIFICATES OF OCCUPANCY PERMITS TO OWNER AT COMPLETION
- CONTRACTOR TO HIRE STRUCTURAL ENGINEER TO VERIFY ALL STRUCTURAL LOADS, BEAM SIZES AND BEAM LOCATIONS BEFORE THE START OF PROJECT
- CONTRACTOR TO HIRE A SOILS ENGINEER (OR STRUCTURAL ENGINEER) TO VERIFY EXIST. SOIL STRENGTHS AND NEW FOOTING SIZES REQUIRED

1. ALL WORK IS TO COMPLY WITH THE LATEST ADOPTED VERSION OF THE UNIFORM BUILDING CODE AND ANY APPLICABLE STATE, COUNTY OR LOCAL REGULATIONS.

2. THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND IS TO NOTIFY THE DESIGNER OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.

3. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS.

4. DESIGN LOADS:

(LIVE)	ROOF	25 PSF (LIVE LOAD)
	FLOOR	40 PSF
	STAIRS	100 PSF
	GARAGE FLOOR	50 PSF (2000" PT)
	DECKS	60 PSF

(IF YOUR LOCAL AREA REQUIRES DIFFERENT DESIGN LOADS CONSULT WITH A LOCAL STRUCTURAL ENGINEER TO DETERMINE THE APPROPRIATE REVISIONS.)

5. INSULATION:

ROOF (VAULTED)	R-30
ROOF (FLAT)	R-28
WALLS (EXTERIOR)	R-19
FLOOR (OVER UNHEATED SPACE)	R-25
BASEMENT WALLS (W/12" OF GRADE)	R-21
SLAB ON GRADE	R-15
FURNACE DUCTS (UNHEATED SPACE)	R-6
BASEMENT WALLS (HEATED)	R-15

6. THE ABOVE VALUES ARE A MINIMUM AND MAY BE INCREASED IF DESIRED. VERIFY WITH CONTRACTOR.

7. ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.

8. PROVIDE INSULATION BAFFLES AT EAVE VENTS BETWEEN RAFTERS.

9. ROOF VENTS TO TOTAL MORE THAN 1/300 OF THE ATTIC AREA BEING VENTILATED.

FRAMING NOTES

1. ALL EXTERIOR WALL OPENINGS AND BEARING WALL OPENING TO HAVE (2) 2X12 HEADERS UNLESS OTHERWISE NOTED

2. JOISTS THAT ARE ATTACHED TO FLUSH BEAMS ARE TO BE HUNG WITH SUMPSON " LUS210" OR EQUIVALENT.

3. PROVIDE DOUBLE OR TRIPLE JOISTS UNDER ALL PARALLEL PARTITIONS OVER PROVIDED FIRE BLOCKING. DRAFTSTOPS & FIRESTOPS AS PER ICC RESIDENTIAL CODE 2006.

4. HIP, VALLEY RAFTERS AND RIDGE BOARDS TO ALWAYS BE A BOARD SIZE 2" LARGER THAN RAFTERS.

5. PROVIDE COLLAR TIES @ THE UPPER THIRD(1/3) OF VERTICAL DISTANCE BETWEEN RIDGE BOARD AND JOISTS @ 4'-0 O.C.

6. PROVIDE "X" BRIDGING @ 8'-0" O.C MAXIMUM PER JOIST.

7. PROVIDE SOLID BLOCKING AT MIDHEIGHT FOR ALL WALLS.

8. ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED (P.T)

9. ANCHOR BOLTS SHALL BE 3/4"x10" @ 48" O.C. AND BE WITHIN 12" FROM THE END OF SILLS AND CORNERS. PROVIDE MINIMUM OF TWO (2) BOLTS PER SILL EMBEDDED 7" INTO CONCRETE OR MASONRY.

10. PROVIDE CONTINUOUS PERFORATED EAVE VENTS FOR ATTIC VENTILATION

11. PROVIDE CONTINUOUS PERFORATED EAVE VENTS FOR ATTIC VENTILATION

12. LUMBER SPECIES:
A. POSTS, BEAMS, HEADERS, JOISTS AND RAFTERS - NO. 1 OR NO. 2 SOUTHERN YELLOW PINE.

B. BLOCKING, BRIDGING, ETC. - NO. 1 OR NO. 2 SOUTHERN YELLOW PINE

C. SILLS & PLATES - PRESSURE TREATED (P.T)

D. STUDS - NO. 1 OR NO. 2 GRADE PRECUT STUDS (SOUTHERN YELLOW PINE OR DOUGLAS FIR)

E. POST & BEAM DECKING - UTILITY GRADE D.F.

F. PLYWOOD SHEATHING - CDX PLYWOOD (SEE PLANS FOR SIZE)

13. ALL BASEMENT LEVEL STUDS SHALL BE 9'-0" IN HEIGHT FRAMED WITH PRESSURE - TREATED SINGLE BOTTOM PLATE AND DOUBLE TOP PLATE (2 X MATERIAL).

14. ALL MAIN LEVEL STUDS SHALL BE 10'-0" IN HEIGHT FRAMED WITH SINGLE BOTTOM-PLATE AND DOUBLE TOP PLATE (2 X MATERIAL). ALL SECOND FLOOR STUDS SHALL BE 10'-0" IN HEIGHT FRAMED WITH SINGLE BOTTOM-PLATE AND DOUBLE TOP PLATE (2 X MATERIAL)

15. ALL EXTERIOR WALL SHALL BE FRAMED WITH 2X4 STUDS @ 16" O.C. MAX. U.N.O

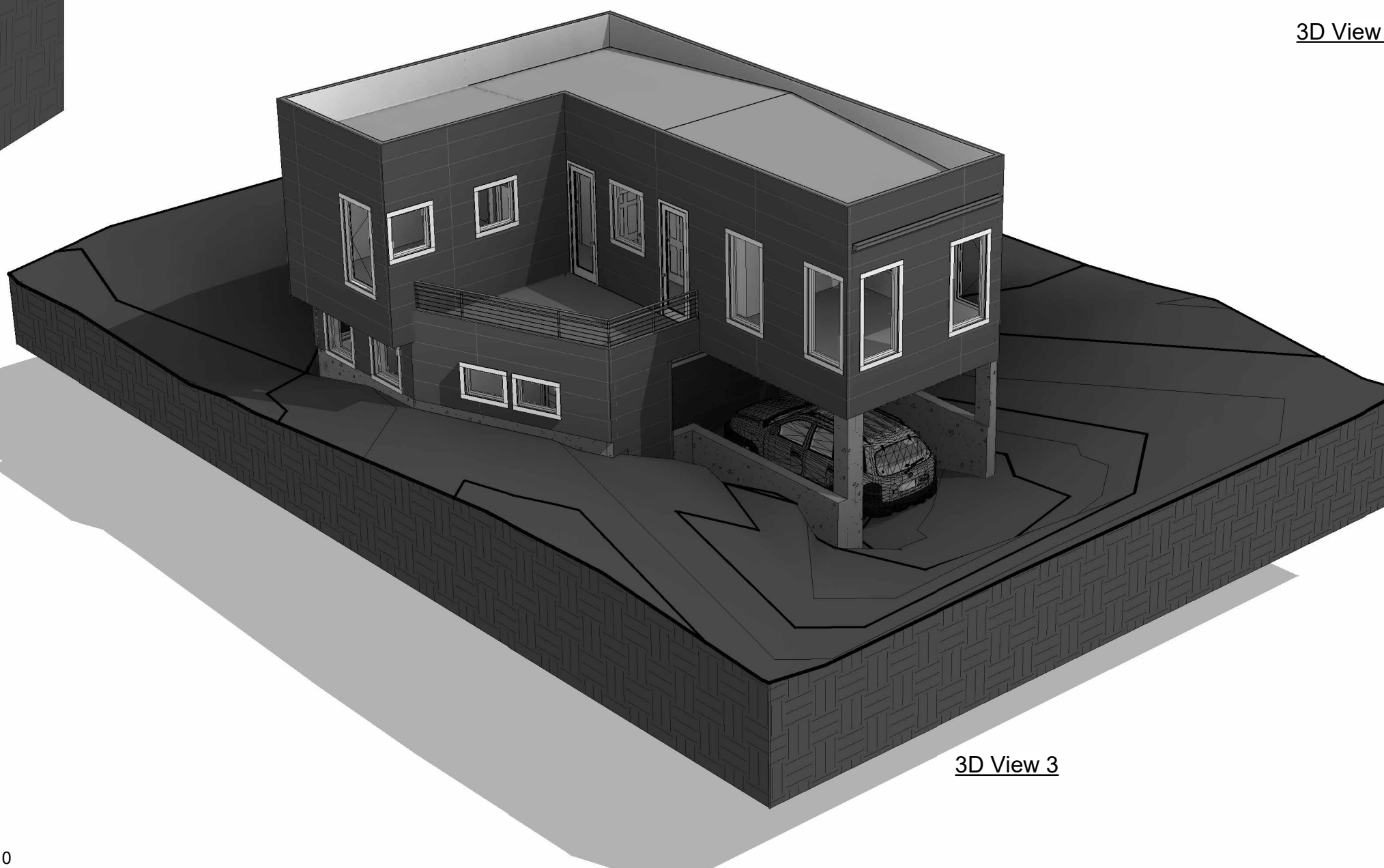
16. ALL INTERIOR WALLS SHALL BE FRAMED USING 2X4 STUDS @ 16" O.C. UNLESS OTHERWISE NOTED. ANY NOTED INTERIOR WALLS FRAMED WITH 2X6 STUDS SHALL ALSO BE @ 16" O.C



3D View 1



3D View 2



3D View 3

- ALL EXTERIOR WALL OPENINGS & BEARING WALL OPENINGS TO HAVE 4 X 12 HEADERS UNLESS OTHERWISE INDICATED.
- JOISTS THAT ARE ATTACHED TO FLUSH BEAMS ARE TO BE HUNG WITH "SIMPSON" U-210 OR EQUIV.
- PROVIDE DOUBLE JOISTS UNDER ALL WALLS ABOVE RUNNING PARALLEL TO JOISTS.
- PROVIDE FIREBLOCKING, DRAFTSTOPS & FIRESTOPS AS PER THE U.B.C. SEC. 2516F.
- LUMBER SPECIES:
A. POSTS, BEAMS, HEADERS, JOISTS AND RAFTERS NO. 2 DOUGLAS FIR
B. SILLS, PLATES, BLOCKING, BRIDGING ETC. NO. 3 DOUGLAS FIR
C. STUDS STUD GRADE DF
D. POST 4 BEAM DECKING UTILITY GRADE DF.
E. PLYWOOD SHEATHING 1/2" CDX PLY, 32/16
F. GLU-LAM BEAMS Fb-2400, DRY ADH.
- | NAILING SCHEDULE: | | | |
|---------------------------|---------------------------|--------------|-----------|
| JOIST TO SILL OR GIRDER | 3-8d | TOE NAIL | |
| BRIDGING TO JOIST | 2-8d | TOE NAIL | |
| 2" SUBFLOOR TO TO GIRDER | 2-16d | BLIND & FACE | |
| SOLE PL. TO JOIST | 16d @ 16" | FACE NAIL | |
| TOP PL. TO STUDS | 2-16d | END NAIL | |
| STUD TO SOLE PL. | 4-8d | TOE NAIL OR | |
| | 2-16ed | END NAIL | |
| DOUBLE STUDS | 16d @ 16" | FACE NAIL | |
| DOUBLE TOP PL. | 16d @ 16" | FACE NAIL | |
| CONTINUOUS HEADER (2 PC.) | 16d @ 16" | EDGE NAIL | |
| CLG. JST. TO PL. | 3-8d | TOE NAIL | |
| CLG. JST. LAP OVER PL. | 3-16d | FACE NAIL | |
| CLG. JST. TO RAFTER | 3-8d | TOE NAIL | |
| RAFTER TO TOP PL. | 16d @ 24" | FACE NAIL | |
| BUILT-UP CORNER STUDS | 8d @ 6" | EDGE NAIL | |
| PLYWOOD SUBFLOOR | 8d @ 10" | INTERIOR | |
| PLY WALL 4 ROOF SHEATHING | 8d @ 12" @ 6" | EDGE NAIL | |
| TOP PL. AT INTERSECTIONS | 2-16d | FACE NAIL | |
| MULTIPLE JOISTS (UP TO 3) | 16d @ 15" | FACE NAIL | |
| MULTIPLE JOISTS (OVER 3) | 1/2" DIA. BOLTS WAUASHERS | STAGGER NAIL | |
| | EA. SIDE @ 24" O.C. | | |
| | 1 X 6 SPACED SHEATHING | 2-8d | FACE NAIL |
- MANUFACTURED TRUSS JOISTS MAY BE SUBSTITUTED FOR 2 X JOISTS WHERE APPLICABLE.

- EACH BEDROOM TO HAVE A MINIMUM WINDOW OPENING 5.7 SQ FT. WITH A MINIMUM WIDTH OF 20 IN. MINIMUM HEIGHT OF 22 IN. AND WITH A SILL LESS THAN 44 IN. ABOVE FIN. FLR
- ALL WINDOWS WITHIN 18 IN. OF THE FLOOR, AND WITHIN 24 IN. OF ANY DOOR ARE TO HAVE TEMPERED GLAZING.
- SKYLITES ARE TO BE GLAZED WITH TEMPERED GLASS ON OUTSIDE AND LAMINATED GLASS ON INSIDE (UNLESS PLEXIGLAS). GLASS TO HAVE MAXIMUM CLEAR SPAN OF 25 IN. AND FRAME IS TO BE ATTACHED TO A 2X CURB WITH A MINIMUM OF 4 IN. ABOVE ROOF PLANE.
- ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS.
- ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED LOWE AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING. PROVIDE 1/2 IN. DEADBOLT LOCKS ON ALL EXTERIOR DOORS, AND LOCKING DEVICES ON ALL DOORS AND WINDOWS WITHIN ID FT. (VERTICAL) OF GRADE. PROVIDE PEEP-HOLE 54 - 66 IN. ABOVE FIN. FLOOR ON EXTERIOR ENTRY DOORS.
- CONNECT ALL SMOKE DETECTORS (SEE PLAN FOR LOCATION) TO HOUSE ELECTRICAL SYSTEM AND INTERCONNECT EACH ONE, SO THAT, WHEN ANY ONE IS TRIPPED, THEY WILL ALL SOUND. RETROFIT ALL BEDROOMS AND CORRIDORS THAT GIVE ACCESS TO BEDROOMS TO THE SMOKE ALARM SYSTEM.
- PROVIDE COMBUSTION AIR VENTS (W/ SCREEN AND BACK DAMPER) FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCES WITH AN OPEN FLAME.
- BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 4 AIR EXCHANGES PER HOUR RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE.
- ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS OF AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
- TOP OF GUARDRAILS SHALL NOT BE LESS THAN 36" IN HEIGHT. PICKETS SHALL BE SPACED SO THAT A 4" @ SPHERE CANNOT PASS BETWEEN.

GENERAL NOTES

- TRIM FOR INSIDE AND OUTSIDE TO BE SELECTED BY OWNER
- THE WOOD DECK POSTS MUST RESIST 200LB. FROM ANY DIRECTIONS
- PROVIDE A WIRED DIRECTLY SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR AT EACH FLOOR/IN EACH BEDROOM AND AT HALLWAY OUTSIDE BEDROOM
- PROVIDE GFI OUTLETS BY ALL SINKS, AND WET AREAS
- 1/150 VENTILATION MIN. AREA FOR ATTIC AND UNDER FLOOR (WHICHEVER APPLIES) IS REQUIRED
- A FAN IS REQUIRED IN ALL WET AREA ROOMS IF AN OPERABLE WINDOW IS NOT IN THE ROOM
- IN ALL HABITABLE ROOMS, 8% MIN. LIGHT AND 4% MIN. VENTILATION AREA IS REQUIRED
- PROVIDE DOUBLE FLOOR JOISTS UNDER ALL PARALLEL PARTITION WALLS AND SOLID CONTINUOUS 2X SOLID BLOCKING UNDER ALL PERPENDICULAR PARTITION WALLS. LOAD BEARING WALLS NEED DESIGNED BEAM OR WALL UNDER THEM. (SEE STRUCTURAL FOR FRAMING PLAN)
- PRESSURE TREATED WOOD IS REQUIRED @ ALL CONTACT WITH CONCRETE AND EXPOSED TO WEATHERING CONDITIONS. DECAY RESISTANT WOOD INCLUDE REDWOOD BLACK LOCUST AND CEDARS
- PROVIDE 34'-38" HEIGHT HANDRAIL @ ALL STAIRS IF 4 OR MORE RISERS ARE PRESENT (SEE ELEVATIONS)
- PROVIDE 1/2" MIN. SHEATHING (4" WIDE IN. PLATE TO PLATE) OR 1X4 LET-IN OR APPROVED METAL STRAPS WALL BRACING REQUIRED FOR STRENGTHENING WALLS FOR MIN. SHEAR. THIS IS TO BE ACCOMPLISHED AT 25' ON CENTER AND ALL CORNERS, AT ALL LEVELS WITH WOOD FRAMING. THE LET-INS SHALL BE AS CLOSE TO 45 DEG. AS POSSIBLE
- TEMPERED GLASS IS REQUIRED WHEN SILL IS LESS THAN 18" ABOVE THE FINISHED FLOOR, 24" FROM THE EXTERIOR DOOR OPENING AND WITH 60" VERTICAL ABOVE TUB OR SHOWER ENCLOSURE. ALL GLASS IN DOORS TO BE TEMPERED (SEE FLOOR PLAN)
- PROVIDE 6'-9" MIN. HEAD CLEARANCE ABOVE STAIR AT ANY POINT.
- PROVIDE 36" MIN. HEIGHT RAILING @ ALL BALCONY, PORCH, DECK OR SURFACE WHERE THE DIFFERENCE IN THE HEIGHT TO THE GROUND IS 30" OR HIGHER (SEE ELEVATION)
- PROVIDE 3'-0" MIN. ACCESS WIDTH THROUGHOUT THE STRUCTURE INCLUDING STAIRS, HALLWAY, ETC.
- PROVIDE PULL DOWN STAIRS TO ATTIC. (MIN. 22' X 30' MIN. ATTIC ACCESS)
- PROVIDE 20'X22' MIN. OPENING SIZE WITH A 4'4" MAX WALL HEIGHT REQUIRED AT ONE WINDOW, IN EACH BEDROOM FOR EMERGENCY EGRESS.
- PROVIDE 7 3/4" MAX RISER HEIGHT AND 10' MIN. TREAD WIDTH AT ALL INTERIOR STAIRS
- 1/2" GYP. BD. REQUIRED UNDER ALL STAIRS THAT USE THE AREA AS HABITABLE ROOM. (SEE PLAN AT BASEMENT)
- DUAL GLAZING IS REQUIRED IF THE GLAZING AREA EXCEEDS 10% OF THE FLOOR AREA AND THE R-13 WALL INSULATION IS REQUIRED IF GLAZING AREA EXCEEDS 14% OF THE FLOOR AREA
- A LIGHT GAGE MECHANICAL CONNECTIONS IS REQUIRED AT THE BOTTOM OF ALL POST OR BUILT-UP POSTS WHEN IT SUPPORTS A POST, BEAM, FLOOR OR ROOF STRUCTURE ABOVE THAT CAN RESTRAIN POST FROM ANY MOVEMENT
- ALL EXISTING CONDITIONS AND DIMENSIONS TO BE VERIFIED BY CONTRACTOR
- INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDED SPECIFICATIONS
- THE FINAL GRADING OF THE LOT MUST BE GRADED SO ALL SURFACE WATER DRAINS AWAY FROM THE STRUCTURES. PROVIDE DRAINAGE UNDER ALL PARTS OF THE BUILDING NOT INCLUDED IN THE BASEMENT OR CRAWL SPACES.
- CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS, EXISTING CONDITIONS AND DIMENSIONS. CONTACT THE ARCHITECT IF THERE ARE CONFLICTS
- CONTRACTOR SHALL VERIFY ANY CONFLICTS WITH LOCATIONS OR MECHANICAL, ELECTRICAL, AND PLUMBING AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE PROVIDED.

AREA SCHEDULE	
NAME	AREA
HEATED TOTAL	
FIRST FLOOR	540 SF
SECOND FLOOR	723 SF
	1263 SF
NON HEATED	
PARKING PAD	311 SF
ROOF TOP TERRACE	147 SF
	458 SF
TOTAL	1721 SF

SHEET LIST	
SHEET NUMBER	SHEET NAME
A0.0	COVER SHEET
A0.1	EXISTING SURVEY
A0.2	SITE LAYOUT
A1.0	FOUNDATION AND ROOF PLAN
A1.1	FLOOR PLANS
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS
A3.0	ROOF PLAN
A4.0	SECTIONS
A5.1	WALL DETAILS
A5.2	DETAILS
A5.3	FRAMING PLANS
A5.4	SPAN TABLES
A5.5	SPAN CHARTS
A5.6	LOAD CALCS

AREA SCHEDULE LOT COVERAGE			
NAME	AREA	Site Area	LOT COVERAGE
FIRST FLOOR	540 SF	1809 SF	30%
PARKING PAD	311 SF	1809 SF	17%
TOTAL LOT COVERAGE	851 SF		47%

AREA SCHEDULE F.A.R				
NAME	AREA	Site Area	F.A.R	Above/Below Grade
HEATED TOTAL				
SECOND FLOOR	723 SF	1809 SF	40%	ABOVE GRADE
	723 SF		40%	



VICINITY MAP

No.	Description	Date

DRAWN BY : CHRISTOPHER J MALONE
DESIGNED BY: CHRIS MALONE DESIGNS
10/25/2023 12:29:00 PM

CONTRACTOR CONTACT:
CHRIS MALONE
DESIGNS LLC

OWNER CONTACT:
DEREK
NEW CONSTRUCTION

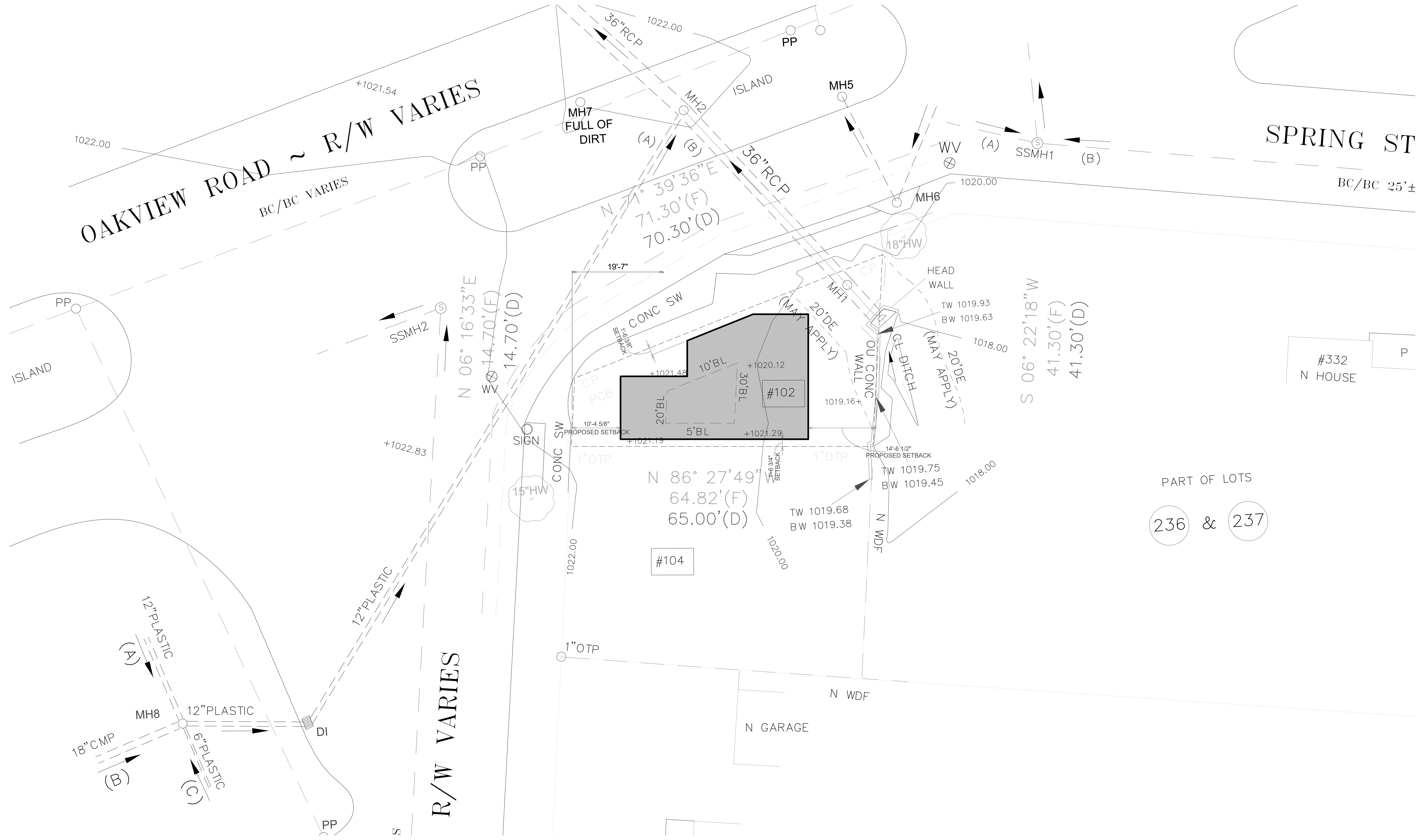
PLAN NAME
PROJECT NUMBER : 2021-002
PROJECT ADDRESS:
102 5TH AVE DECATUR
GA 30030

COVER SHEET
A0.0

CHRIS MALONE
DESIGNS
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RELEASED FOR CONSTRUCTION



① SITE LAYOUT
1" = 10'-0"

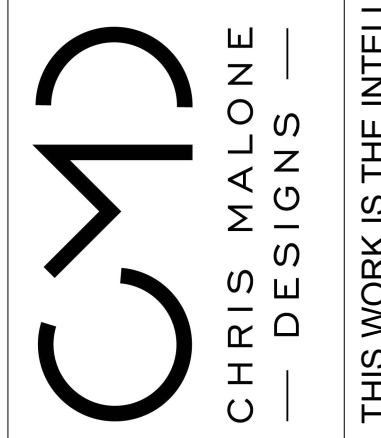
No.	Description	Date

DRAWN BY : CHRISTOPHER J MALONE
DESIGNED BY : CHRIS MALONE DESIGNS
10/25/2023 12:29:01 PM

CONTRACTOR CONTACT:
CHRIS MALONE
DESIGNS LLC

OWNER CONTACT:
DEREK
NEW CONSTRUCTION

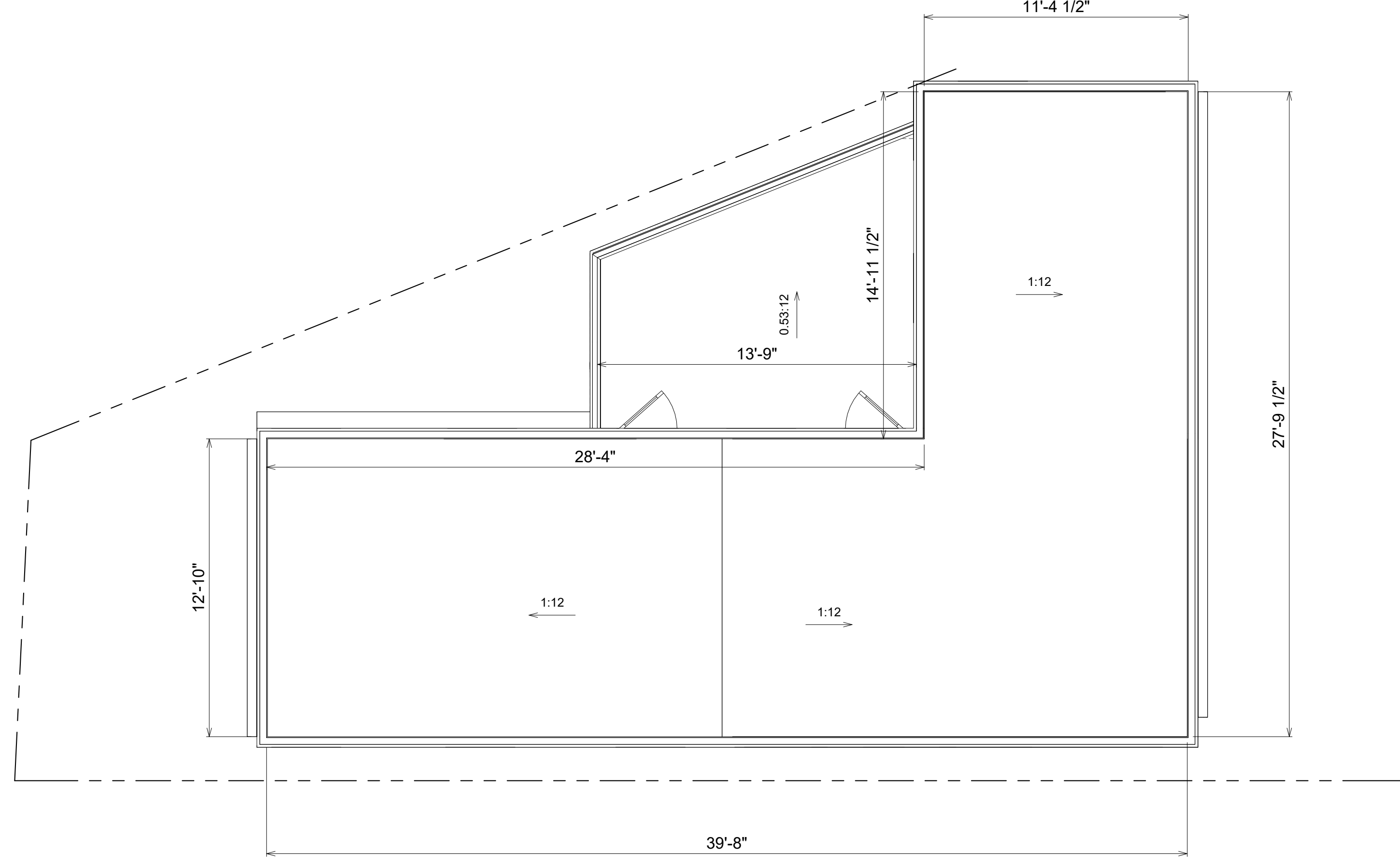
PLAN NAME
PROJECT NUMBER : 2021-002
PROJECT ADDRESS:
102 5TH AVE DECATUR
GA 30030



SITE LAYOUT
A0.2
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RELEASED FOR CONSTRUCTION



② ROOF PLAN
1/4" = 1'-0"

No.	Description	Date

RELEASED FOR CONSTRUCTION

AREA SCHEDULE LOT COVERAGE			
NAME	AREA	Site Area	LOT COVERAGE
FIRST FLOOR	540 SF	1809 SF	30%
PARKING PAD	311 SF	1809 SF	17%
TOTAL LOT COVERAGE	851 SF		47%

AREA SCHEDULE F.A.R				
NAME	AREA	Site Area	F.A.R	Above/Below Grade
HEATED TOTAL				
SECOND FLOOR	723 SF	1809 SF	40%	ABOVE GRADE
	723 SF		40%	

AREA SCHEDULE	
NAME	AREA
HEATED TOTAL	
FIRST FLOOR	540 SF
SECOND FLOOR	723 SF
	1263 SF
NON HEATED	
PARKING PAD	311 SF
ROOF TOP TERRACE	147 SF
	458 SF
TOTAL	1721 SF

No.	Description	Date

DRAWN BY : CHRISTOPHER J MALONE
DESIGNED BY : CHRIS MALONE DESIGNS
10/25/2023 12:29:14 PM

CONTRACTOR CONTACT:
CHRIS MALONE
DESIGNS LLC

OWNER CONTACT:
DEREK
NEW CONSTRUCTION

PLAN NAME
PROJECT NUMBER : 2021-002
PROJECT ADDRESS:
102 5TH AVE DECATUR
GA 30030

CMD
CHRIS MALONE
DESIGNS

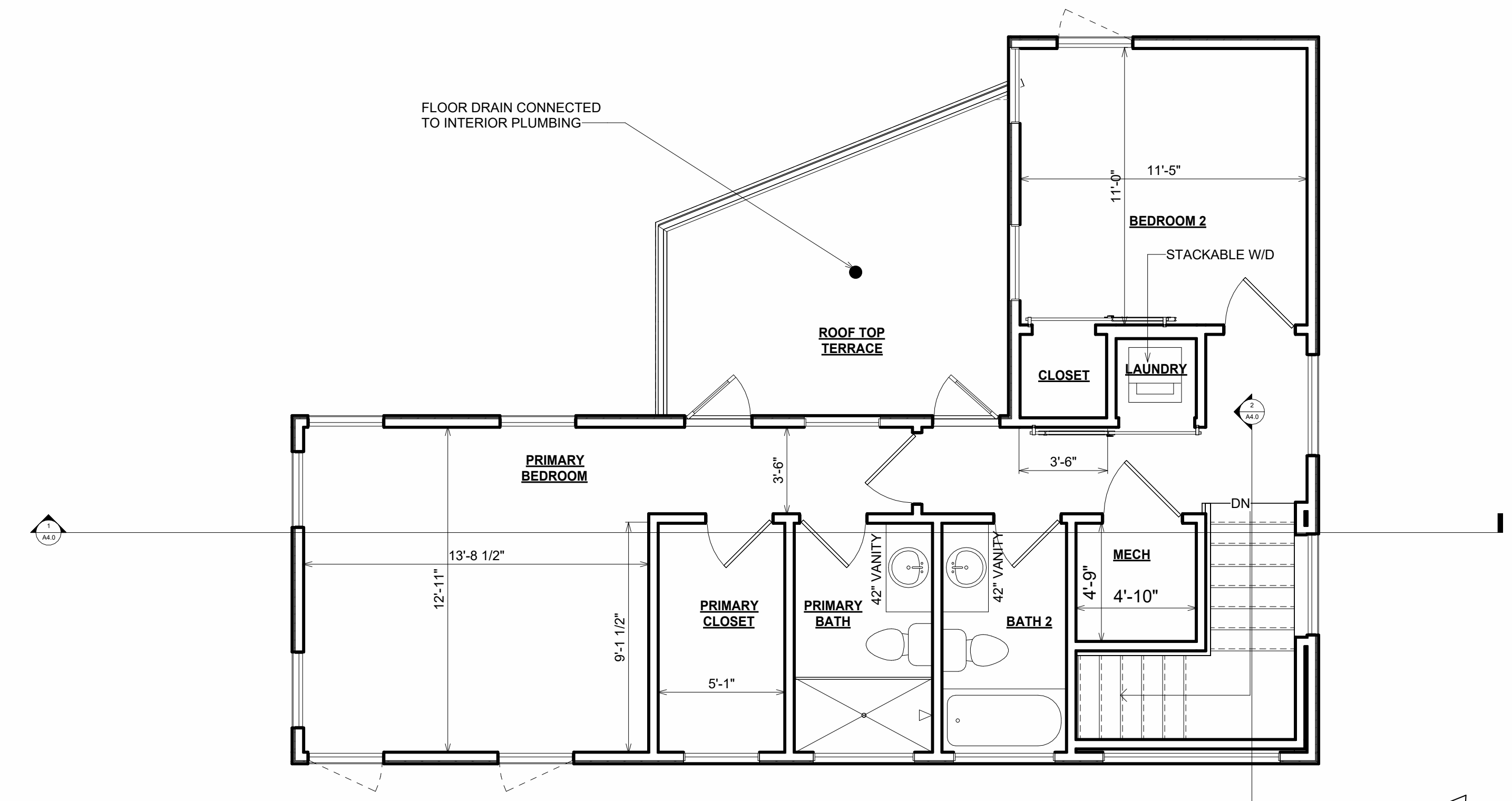
FLOOR PLANS
A1.1
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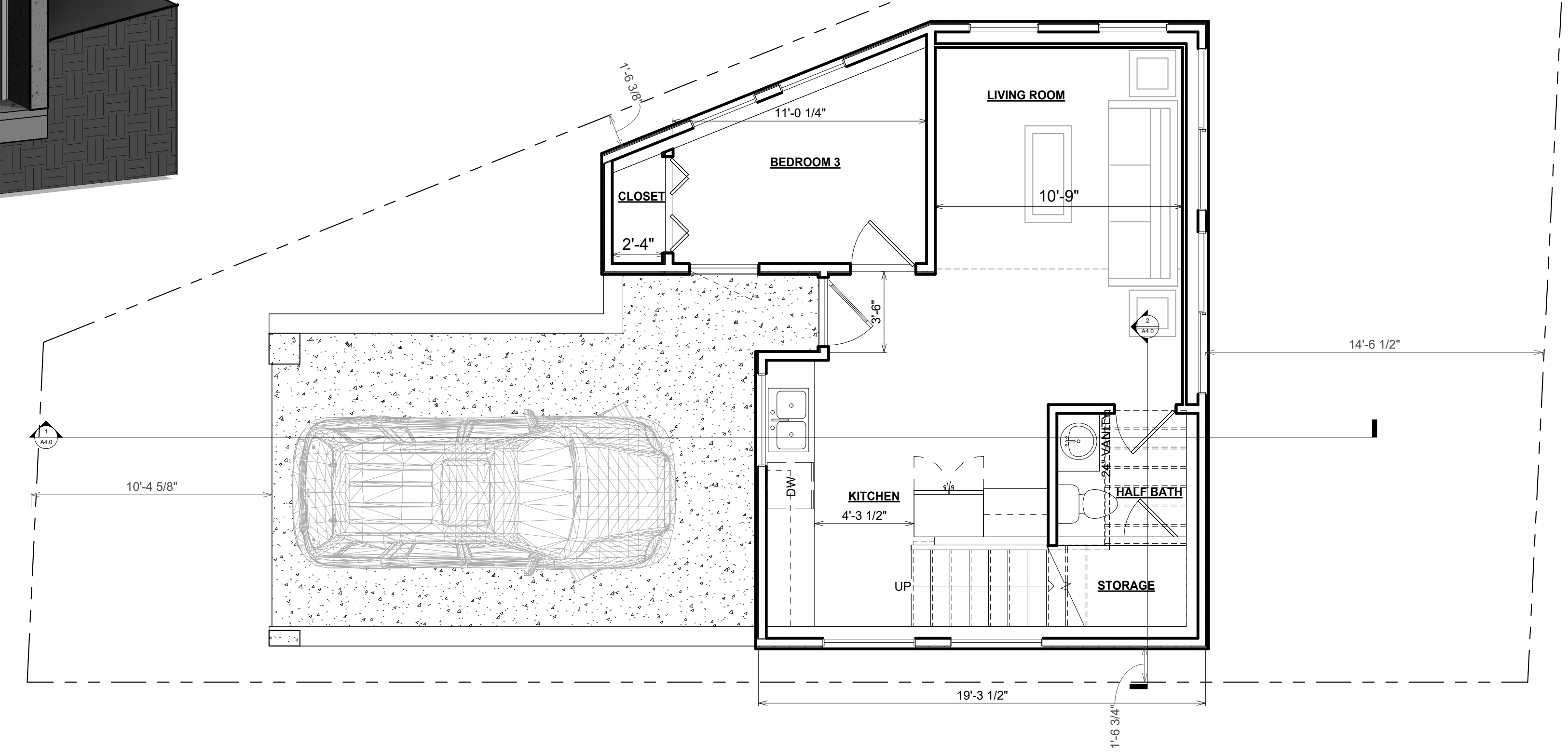
RELEASED FOR CONSTRUCTION



2 3D SECTION



3 SECOND FLOOR
1/4" = 1'-0"



1 FIRST FLOOR
1/4" = 1'-0"

AREA SCHEDULE	
NAME	AREA
HEATED TOTAL	
FIRST FLOOR	540 SF
SECOND FLOOR	723 SF
	1263 SF
NON HEATED	
PARKING PAD	311 SF
ROOF TOP TERRACE	147 SF
	458 SF
TOTAL	1721 SF

No.	Description	Date

RELEASED FOR CONSTRUCTION

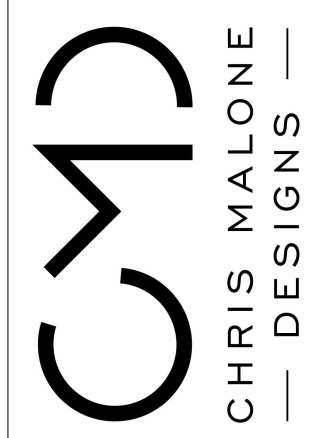
DRAWN BY : CHRISTOPHER J MALONE
DESIGNED BY : CHRIS MALONE DESIGNS

10/25/2023 12:29:24 PM

CONTRACTOR CONTACT:
CHRIS MALONE
DESIGNS LLC

OWNER CONTACT:
DEREK
NEW CONSTRUCTION

PLAN NAME
PROJECT NUMBER : 2021-002
PROJECT ADDRESS:
102 5TH AVE DECATUR
GA 30030



EXTERIOR
ELEVATIONS

A2.0

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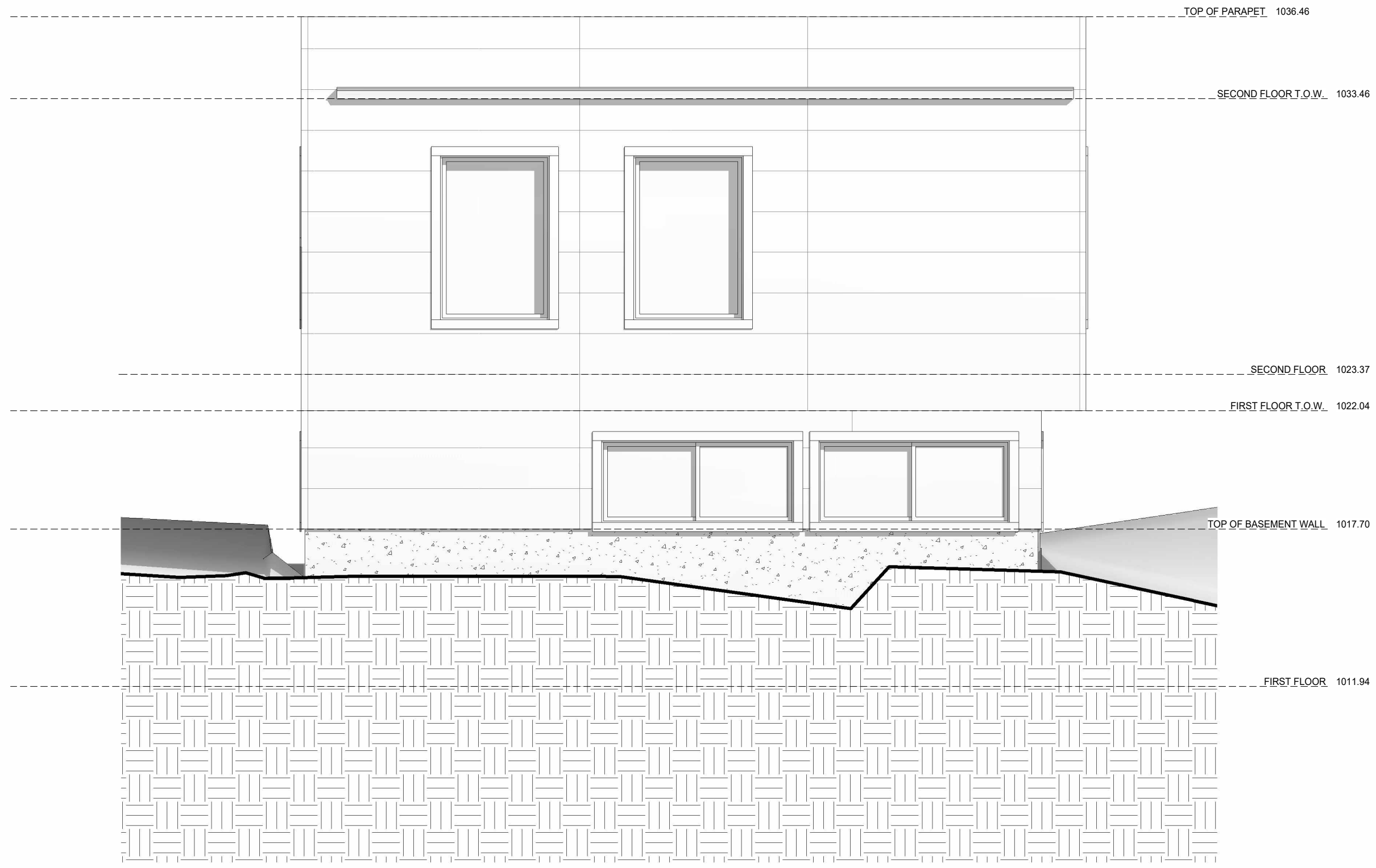
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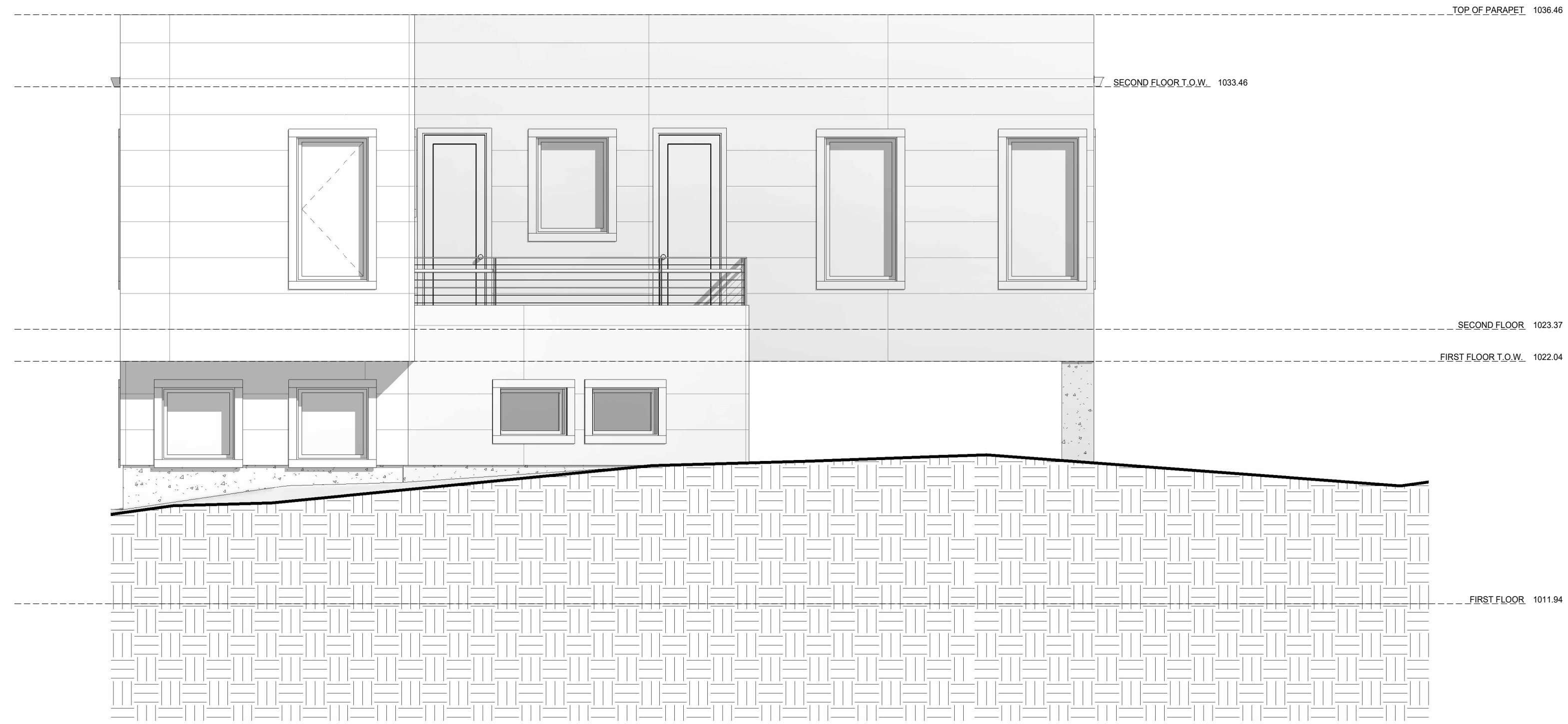
③ RIGHT ELEVATION
1/4" = 1'-0"



① FRONT ELEVATION
1/4" = 1'-0"



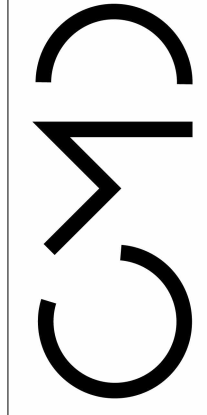
② REAR ELEVATION
1/4" = 1'-0"



① LEFT ELEVATION
1/4" = 1'-0"

EXTERIOR
ELEVATIONS

A2.1



CHRIS MALONE
DESIGNS

PLAN NAME
PROJECT NUMBER : 2021-002
PROJECT ADDRESS:
102 5TH AVE DECATUR
GA 30030

OWNER CONTACT:
DEREK
NEW CONSTRUCTION

CONTRACTOR CONTACT:
CHRIS MALONE
DESIGNS LLC

DRAWN BY : CHRISTOPHER J MALONE
DESIGNED BY : CHRIS MALONE DESIGNS

No.	Description	Date

RELEASED FOR CONSTRUCTION

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