

Planning, Zoning and Inspections Department  
509 North McDonough Street  
Decatur, GA 30030  
404-370-4104

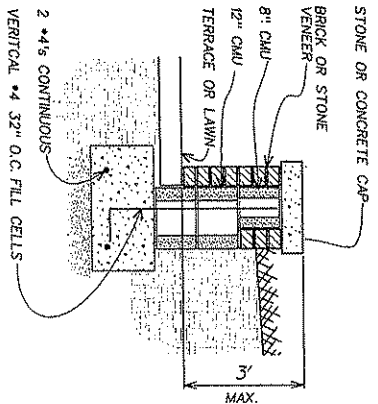
# Sample Residential Plan Submittal

\*\*\*Note: Example plans are not to scale, however all plans submitted to this office MUST be to scale\*\*\*

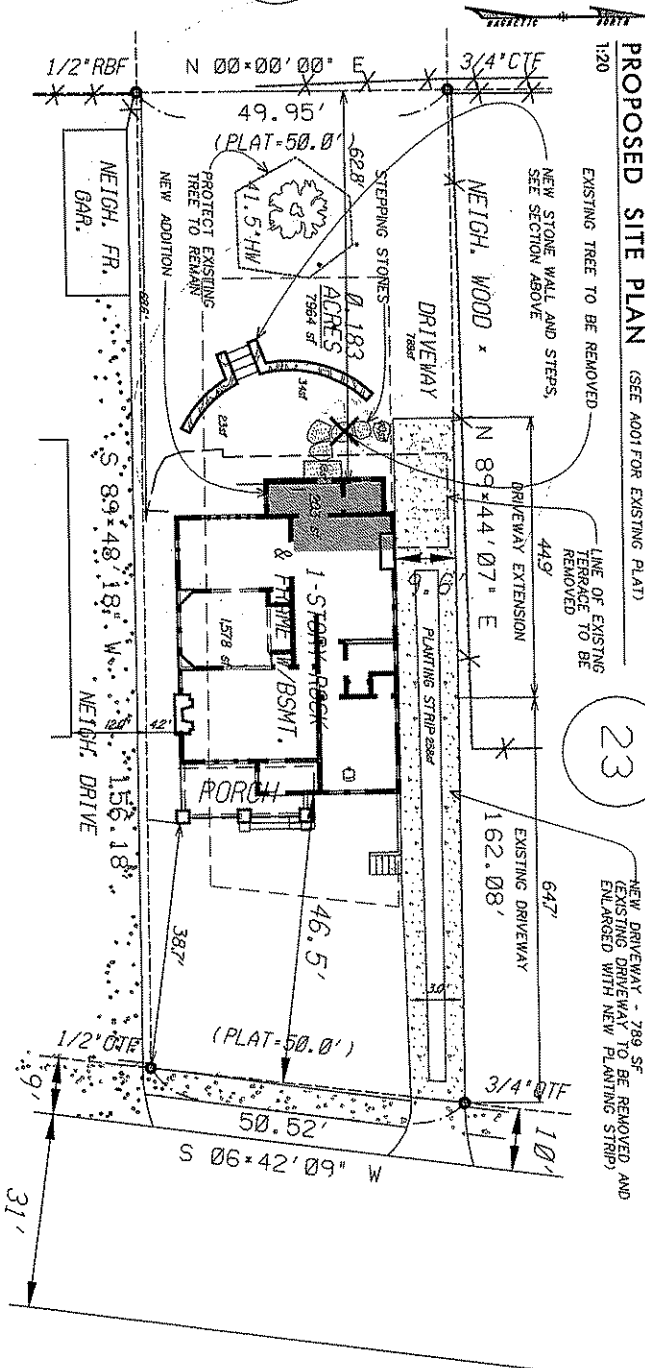
# DRAWING INDEX

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- A-2.02 2nd FLOOR - EXISTING & PROPOSED PLANS
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# RETAINING WALL



# PROPOSED SITE PLAN (SEE A001 FOR EXISTING PLAT)



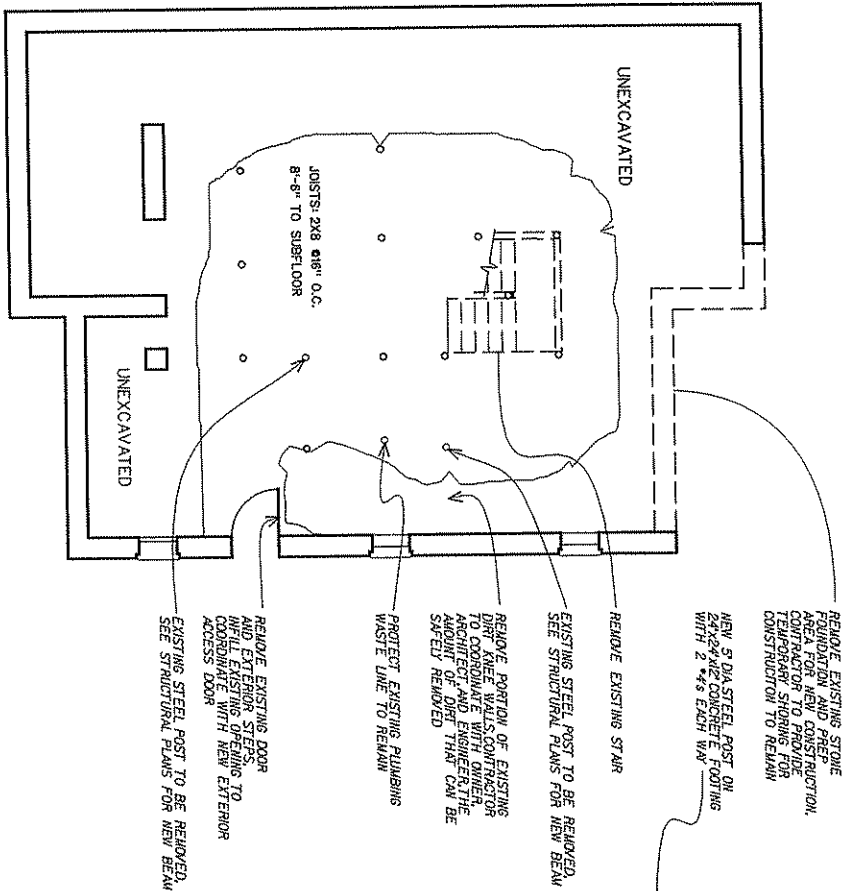
# ZONING ANALYSIS

- 1) Minimum lot area: 9,000 SF  
Existing: 7,964 SF
- 2) Minimum lot frontage: 60 feet  
Existing: 50.52 feet
- 3) Maximum Floor Area Ratio: 40%  
Existing: 24%  
Proposed: 39%  
(First Floor 1,531 sf + Second Floor 1,557 sf divided by Lot Size 7,964 sf)  
3,088 sf / 7,964 sf = .3877 = 39%
- 4) Maximum lot coverage: 40%  
Existing: 35% (2,777 / 7,964)  
Proposed: 34%  
(House Footprint incl. Porch) 1,782 sf + Driveway 789 sf + Wall/Walk Way 115 sf divided by Lot Size 7,964 sf)  
2,686 sf / 7,964 = .337 = 34%
- 5) Minimum depth front yard: 30 feet  
Existing: 38.7' (to porch)  
Proposed: NO CHANGE
- 6) Minimum width side yard: 10 feet  
Existing at House: North - 9.6'; South - 4.2'  
Proposed: NO CHANGE
- 7) Minimum depth rear yard: 30 feet  
Existing: 68.5  
Proposed: 62.8
- 8) Maximum building height: 30.26 feet  
Req. Lot Width-Actual lot Width = 60' - 5.52' = 9.48'  
9.48' x 0.5 = 4.74' reduction in max. hgt  
Existing: 22.75'  
Proposed: 26.75'

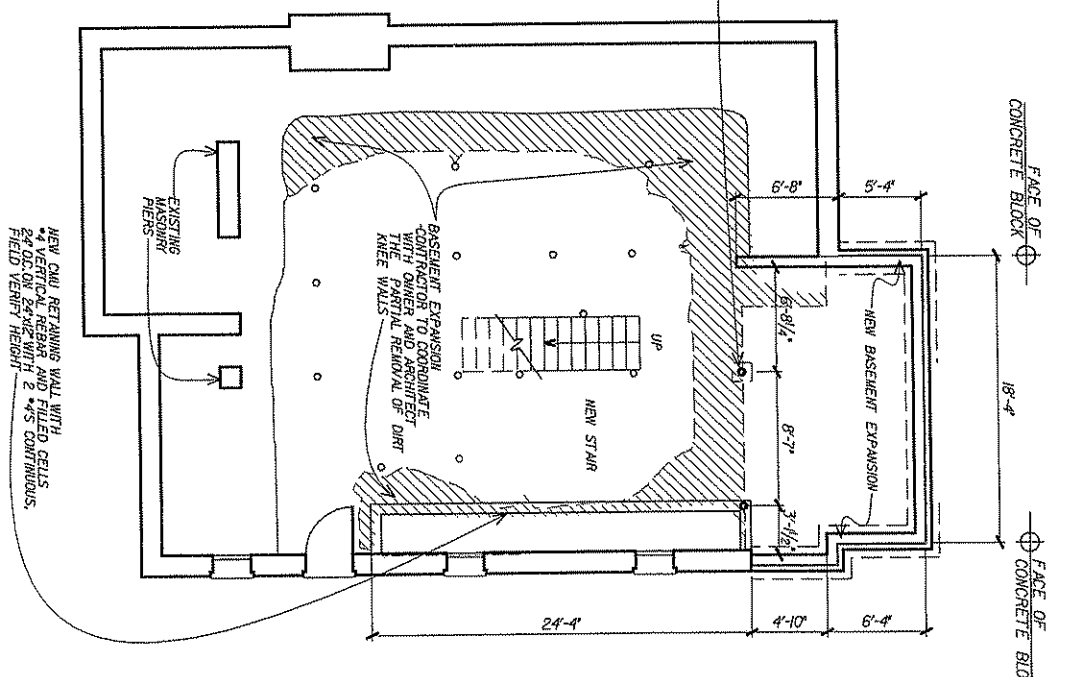


**DEMOLITION NOTES:**

1. Remove existing construction as required for new work.
2. Contractor shall not remove demolition materials through inhabited space unless there are no other options.
3. Provide weatherproof and airtight temporary security and dust barriers from portions of house and in workshop.
4. Provide temporary shoring as required prior to removal of load-bearing construction. Maintain shoring until new load bearing structure is in place.
5. Remove existing wall/ceiling finishes as required for installation of new electrical wiring.
6. Existing surfaces to remain that are damaged by age, saline and refrained to match existing conditions.
7. All existing trees should be protected during demolition and throughout construction.



**2** EXISTING/DEMOLITION BASEMENT PLAN  
 A-2.00 SCALE: 1/8" = 1'-0"

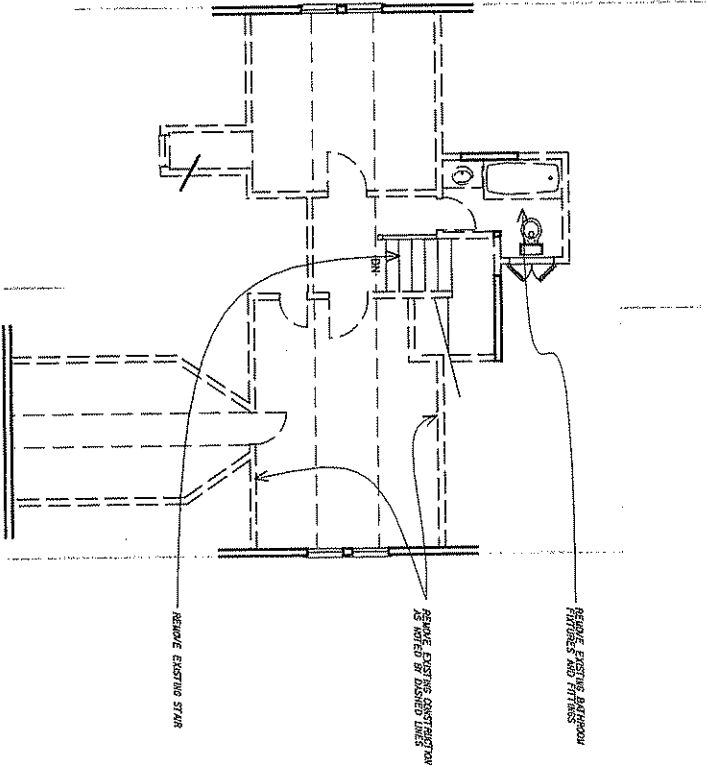


**1** PROPOSED BASEMENT PLAN  
 A-2.00 SCALE: 1/8" = 1'-0"

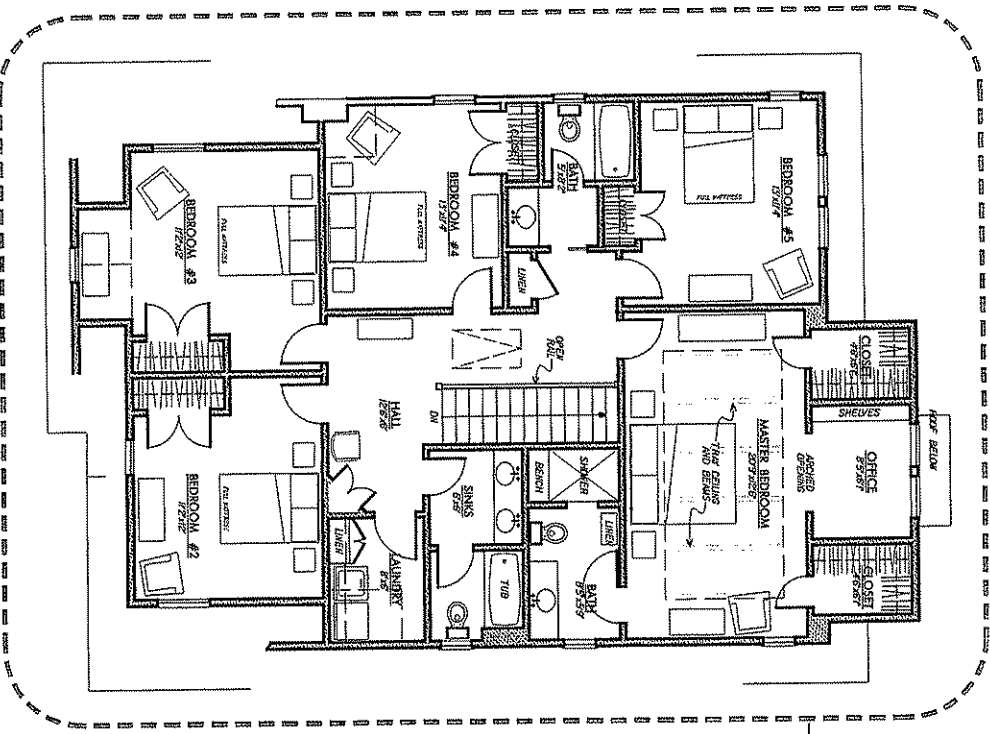


**DEMOLITION NOTES:**

1. Remove existing construction as required for new work.
2. Contractor shall not remove demolition materials through unhabited spaces unless there are no other options.
3. Provide weatherproof and airtight temporary security and dust barriers from portions of house not in workscope.
4. Provide temporary shoring as required prior to removal of load-bearing construction. Maintain shoring until new load bearing structure is in place.
5. Remove existing wall/ceiling finishes as required for installation of new electrical wiring.
6. Existing surfaces to remain that are damaged by age, selective and refrinished to match existing conditions.
7. All existing trusses should be protected during demolition and throughout construction.



**2 EXISTING/DEMOLITION SECOND FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 A-2.012

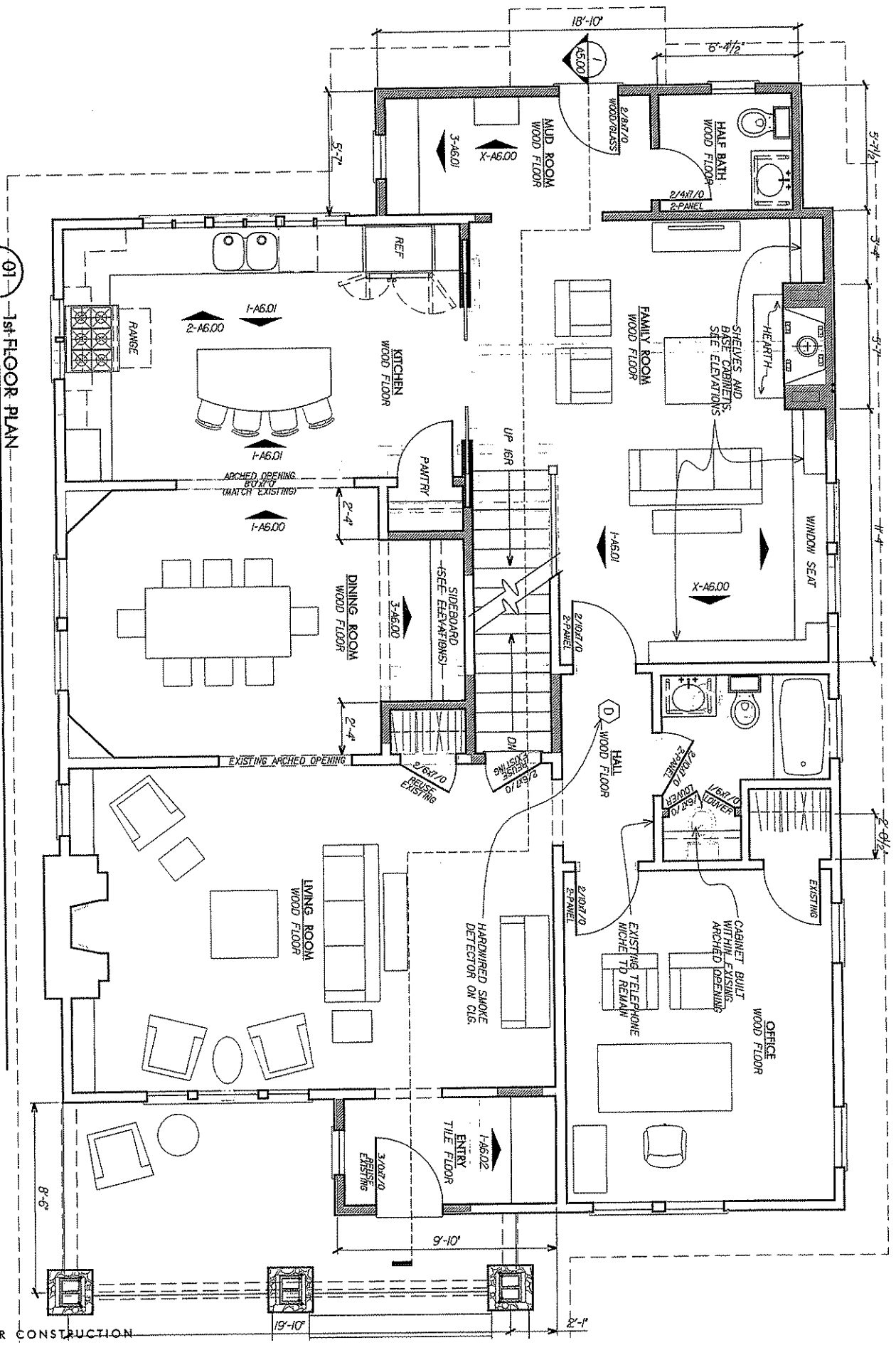


**1 PROPOSED SECOND FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 A-2.012

EXISTING HEATED AREA: 608 SF  
 RENOVATED AREA: 606 SF  
 NEW AREA: 949 SF  
 TOTAL HEATED AREA: 1,557 SF

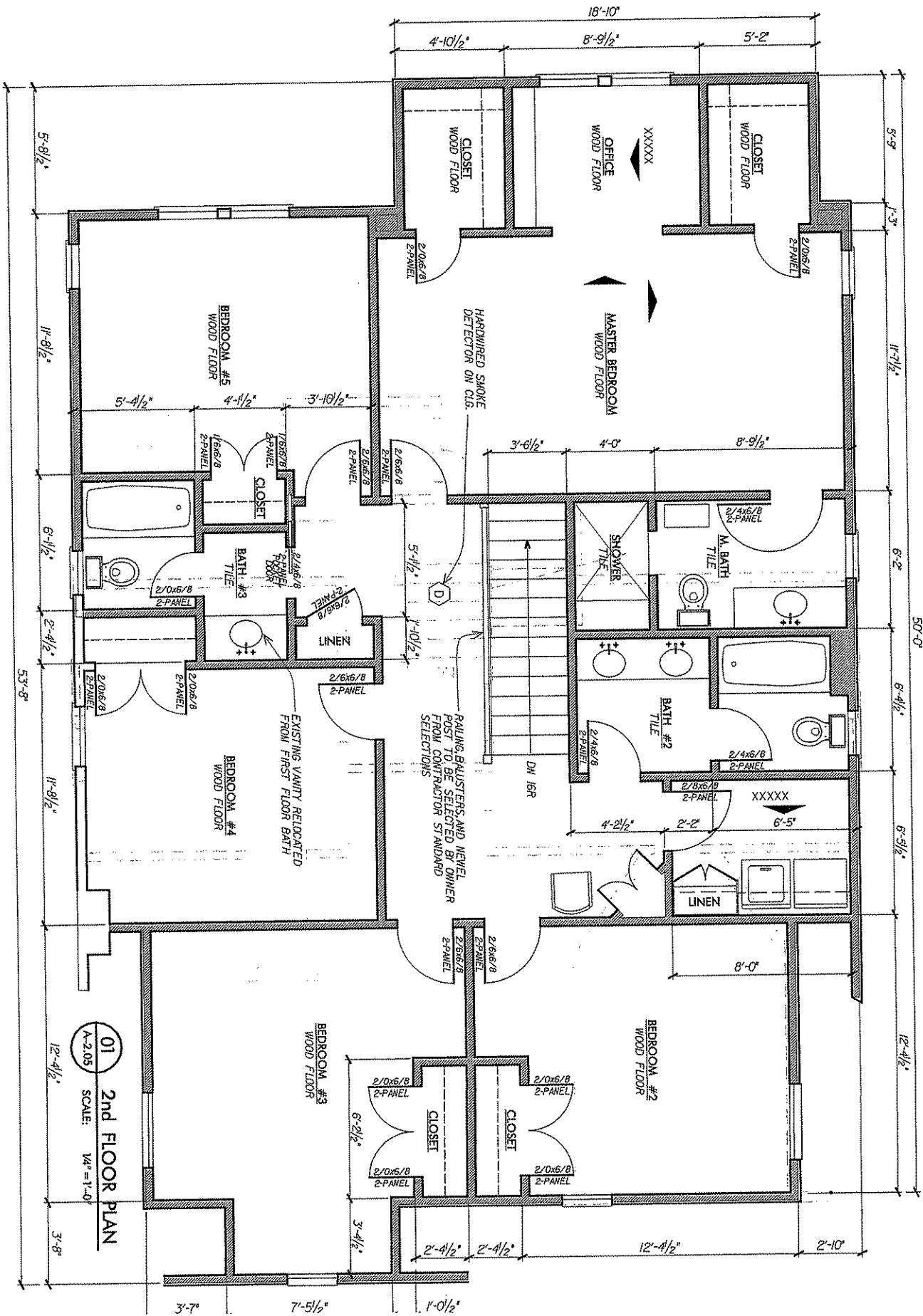


01 1st FLOOR PLAN  
 A-2.12 SCALE: 1/4" = 1'-0"



OR CONSTRUCTION



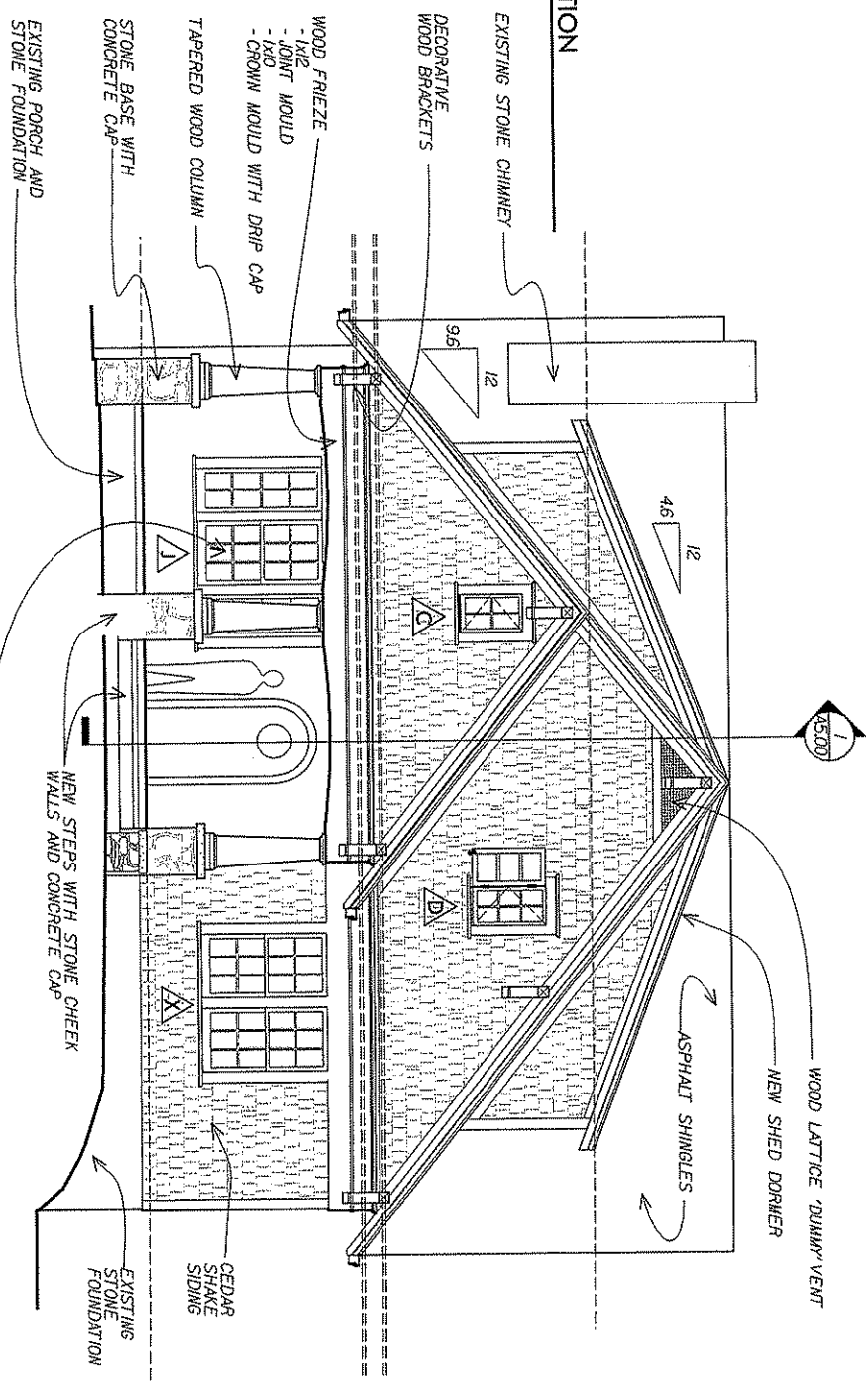


01  
A-2.05  
2nd FLOOR PLAN  
SCALE: 1/4" = 1'-0"

1  
A-3.00

# EXISTING FRONT ELEVATION

SCALE: NTS



1  
A-3.00

# PROPOSED FRONT ELEVATION

SCALE: 3/16" = 1'-0"

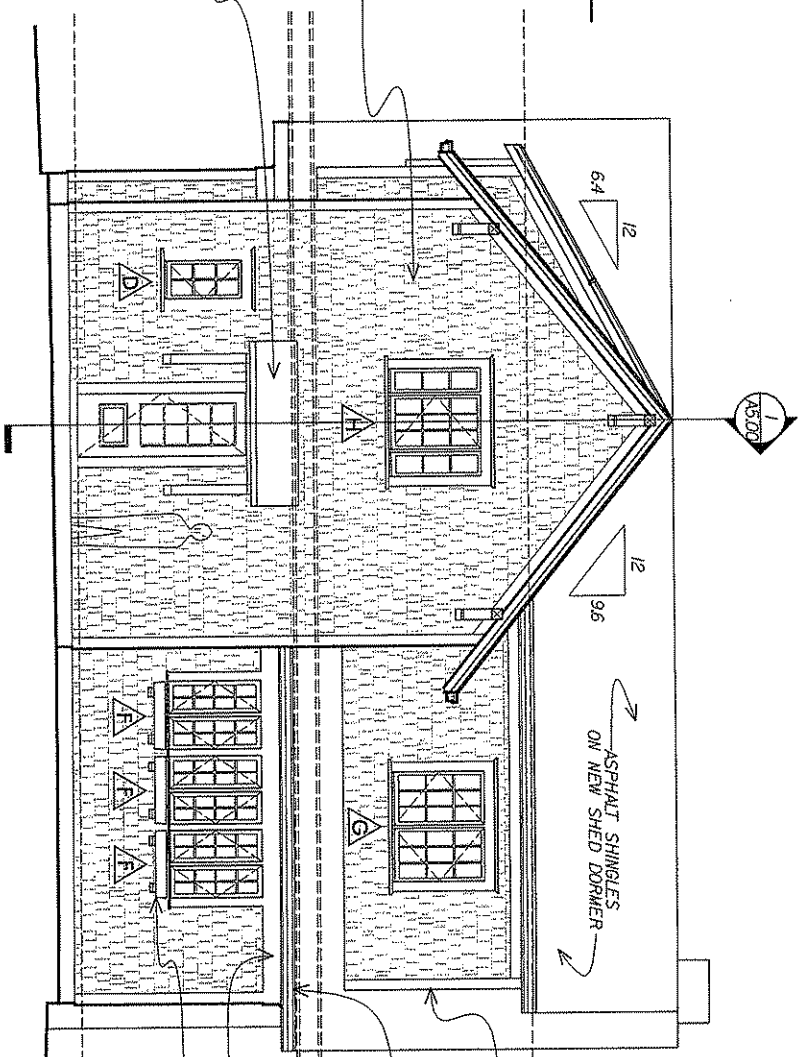
1  
A-3.01

EXISTING REAR ELEVATION  
SCALE: NTS

NEW CONCRETE BLOCK  
FOUNDATION WALL WITH  
STUCCO PARGE COAT

SHED ROOF ON  
WOOD BRACKETS

CEDAR SHAKE SIDING



1  
A-3.01

1  
A-3.01

PROPOSED REAR ELEVATION  
SCALE: 3/16"=1'-0"

1/6 CORNER  
BOARD, TYP.

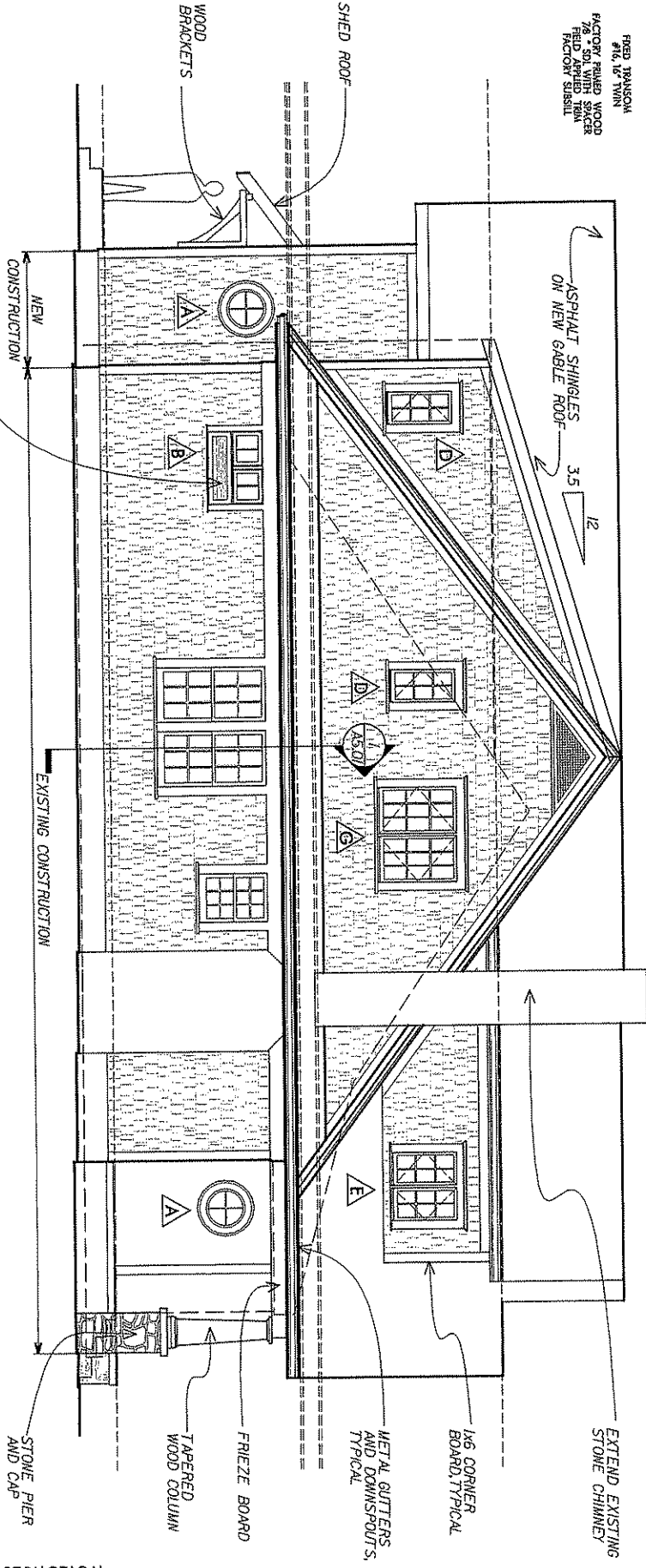
METAL GUTTERS  
AND DOWNSPOUTS,  
TYPICAL

FRIEZE BOARD

WINDOW BOXES  
ON DECORATIVE  
WOOD BRACKETS

OR CONSTRUCTION

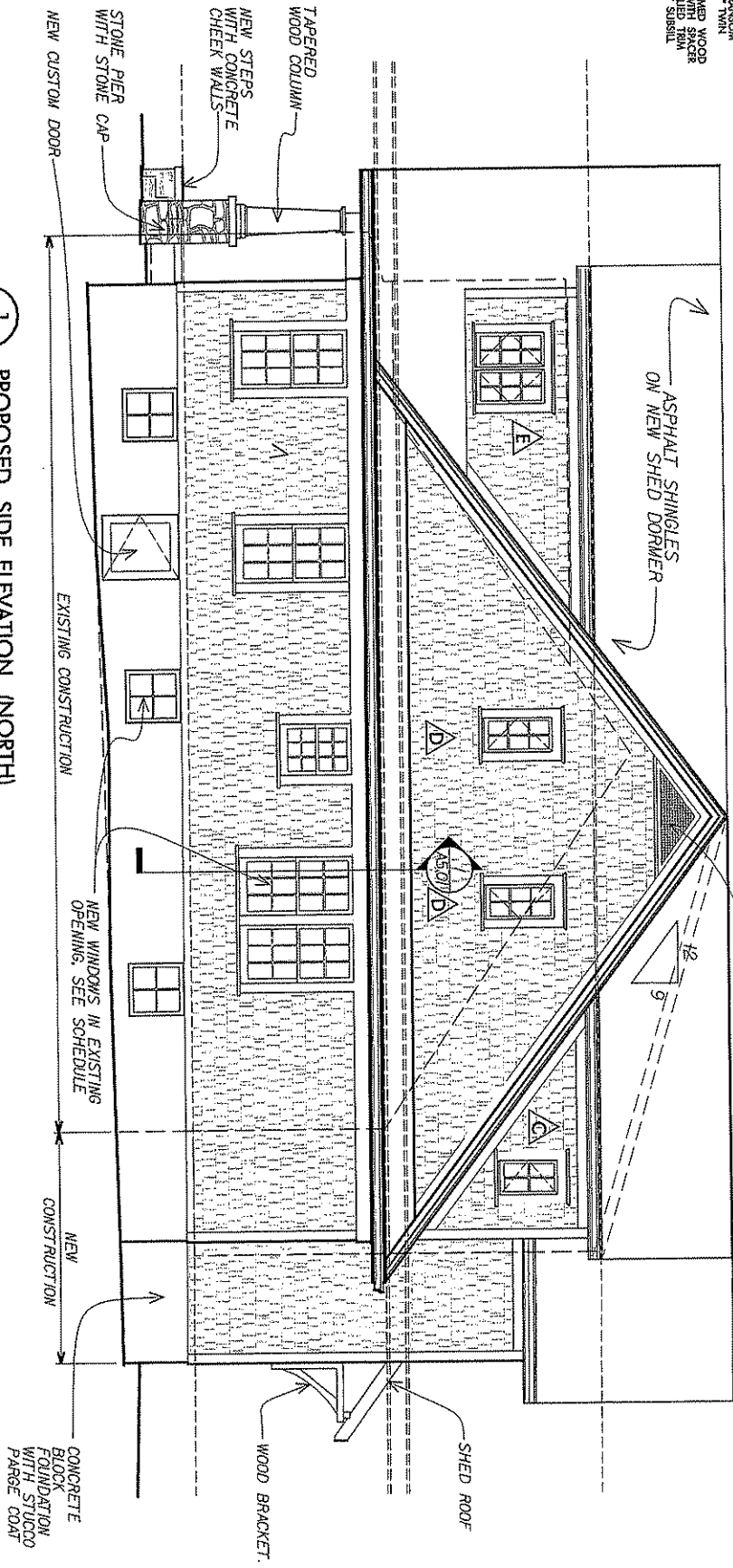
TRANSOM WINDOWS WITH WOOD  
LOWER BELOW FOR DIRECT VENT  
KITCHEN HOOD EXHAUST



- A** FIBER TRANSOM  
#1/2, 1/2" TWIN  
FACTORY PRIMED WOOD  
7/8" S.D. WITH SPACER  
FIELD APPLIED TRIM  
FACTORY SUBSTIT.
- B** FIBER TRANSOM  
#1/2, 1/2" TWIN  
FACTORY PRIMED WOOD  
7/8" S.D. WITH SPACER  
FIELD APPLIED TRIM  
FACTORY SUBSTIT.
- C** WOOD CASHEMINT  
MONARCH 1228  
1-1/2" 1/2" x 2-1/2" 1/2" R.O.  
FACTORY PRIMED WOOD  
7/8" S.D. WITH SPACER  
5/4x4 FACTORY TRIM WITH  
FIELD APPLIED BED MOULD WITH  
4" SILT HORNS
- D** WOOD CASHEMINT  
MONARCH 1234  
1-1/2" 1/2" x 2-1/2" 1/2" R.O.  
FACTORY PRIMED WOOD  
7/8" S.D. WITH SPACER  
5/4x4 FACTORY TRIM WITH  
FIELD APPLIED BED MOULD WITH  
4" SILT HORNS
- E** WOOD RENCH CASHEMINT  
MONARCH 1234  
4-1/2" 1/2" x 2-1/2" 1/2" R.O.  
FACTORY PRIMED WOOD  
7/8" S.D. WITH SPACER  
5/4x4 FACTORY TRIM WITH  
FIELD APPLIED BED MOULD WITH  
4" SILT HORNS
- F** WOOD CASHEMINT  
MONARCH 1222-2  
1-1/2" 1/2" x 2-1/2" 1/2" R.O.  
FACTORY PRIMED WOOD  
7/8" S.D. WITH SPACER  
FIELD APPLIED FLAT CASING  
FACTORY SUBSTIT.
- G** WOOD CASHEMINT  
MONARCH 1222-2  
4-1/2" 1/2" x 2-1/2" 1/2" R.O.  
FACTORY PRIMED WOOD  
7/8" S.D. WITH SPACER  
5/4x4 FACTORY TRIM WITH  
FIELD APPLIED BED MOULD WITH  
4" SILT HORNS
- H** WOOD CASHEMINT  
MONARCH 1222-2  
4-1/2" 1/2" x 2-1/2" 1/2" R.O.  
FACTORY PRIMED WOOD  
7/8" S.D. WITH SPACER  
5/4x4 FACTORY TRIM WITH  
FIELD APPLIED BED MOULD WITH  
4" SILT HORNS
- I** WOOD DOUBLE-HUNG  
MONARCH 2852  
FACTORY PRIMED WOOD  
7/8" S.D. WITH SPACER  
FACTORY PRIMED WOOD  
7/8" S.D. WITH SPACER  
FACTORY SUBSTIT. WITH  
4" SILT HORNS
- J** WOOD DOUBLE-HUNG  
MONARCH 2852  
FACTORY PRIMED WOOD  
7/8" S.D. WITH SPACER  
FACTORY SUBSTIT. WITH  
4" SILT HORNS
- K** WOOD DOUBLE-HUNG  
MONARCH 2852  
FACTORY PRIMED WOOD  
7/8" S.D. WITH SPACER  
FACTORY SUBSTIT. WITH  
4" SILT HORNS

**2** PROPOSED SIDE ELEVATION (SOUTH)  
SCALE: 3/16" = 1'-0"  
A-3-02

OR CONSTRUCTION



1 PROPOSED SIDE ELEVATION (NORTH)  
 A-3.03 SCALE: 3/16" = 1'-0"

- ⊕
- A FRED WOOD WINDOW  
2 1/2" FRAME DIAMETER  
FACTORY FINISH WOOD  
7/8" S.D. WITH SPACER  
5/4x4 FACTORY TRIM
- B
- C WOOD CASSETTE  
MONARCH 1828  
1-9 1/2" x 2-9 1/2" R.O.  
FACTORY FINISH WOOD  
7/8" S.D. WITH SPACER  
5/4x4 FACTORY TRIM WITH  
FACTORY SUBSILL WITH  
4" SIL HORNS
- D WOOD CASSETTE  
MONARCH 1824  
1-9 1/2" x 2-9 1/2" R.O.  
FACTORY FINISH WOOD  
7/8" S.D. WITH SPACER  
5/4x4 FACTORY TRIM WITH  
FACTORY SUBSILL WITH  
4" SIL HORNS
- E WOOD BENCH CASSETTE  
MONARCH 1834  
4-1 1/2" x 3-4 3/8" R.O.  
FACTORY FINISH WOOD  
7/8" S.D. WITH SPACER  
5/4x4 FACTORY TRIM WITH  
FACTORY SUBSILL WITH  
4" SIL HORNS
- F WOOD CASSETTE  
MONARCH 1842-2  
2-4 1/2" x 3-3 1/2" R.O.  
FACTORY FINISH WOOD  
7/8" S.D. WITH SPACER  
5/4x4 FACTORY TRIM WITH  
FACTORY SUBSILL WITH  
4" SIL HORNS
- G WOOD CASSETTE  
MONARCH 1842-2  
2-4 1/2" x 3-3 1/2" R.O.  
FACTORY FINISH WOOD  
7/8" S.D. WITH SPACER  
5/4x4 FACTORY TRIM WITH  
FACTORY SUBSILL WITH  
4" SIL HORNS
- H WOOD CASSETTE  
MONARCH 1835  
3-4 1/2" x 3-3 1/2" R.O.  
FACTORY FINISH WOOD  
7/8" S.D. WITH SPACER  
5/4x4 FACTORY TRIM WITH  
FACTORY SUBSILL WITH  
4" SIL HORNS
- I WOOD DOUBLE-HUNG  
FACTORY FINISH WOOD  
MONARCH 1852  
3-4 1/2" x 3-3 1/2" R.O.  
FACTORY FINISH WOOD  
7/8" S.D. WITH SPACER  
5/4x4 FACTORY TRIM WITH  
FACTORY SUBSILL WITH  
4" SIL HORNS
- J WOOD DOUBLE-HUNG  
FACTORY FINISH WOOD  
MONARCH 1852  
3-4 1/2" x 3-3 1/2" R.O.  
FACTORY FINISH WOOD  
7/8" S.D. WITH SPACER  
5/4x4 FACTORY TRIM WITH  
FACTORY SUBSILL WITH  
4" SIL HORNS
- K WOOD DOUBLE-HUNG  
FACTORY FINISH WOOD  
MONARCH 1852  
3-4 1/2" x 3-3 1/2" R.O.  
FACTORY FINISH WOOD  
7/8" S.D. WITH SPACER  
5/4x4 FACTORY TRIM WITH  
FACTORY SUBSILL WITH  
4" SIL HORNS

WOOD LATTICE  
 'DUMM' VENT

SHED ROOF

WOOD BRACKET

CONCRETE  
 BLOCK FOUNDATION  
 WITH STUCCO  
 PARGE COAT

# STRUCTURAL NOTES

## GENERAL:

- COORDINATE THESE DRAWINGS WITH ARCHITECTURAL DRAWINGS.
- WHERE A DETAIL IS SHOWN FOR ONE CONDITION IT SHALL ALSO APPLY FOR ALL LIKE OR SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TEMPORARY BRACING OF ALL WORK DURING CONSTRUCTION.
- THESE GENERAL NOTES APPLY WHERE OTHER PROVISIONS ARE NOT PROVIDED BY THE DRAWINGS, SPECIFICATIONS OR TYPICAL DETAILS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK.
- THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES WHICH MAY EXIST.
- CONSTRUCTION SHALL BE IN DESIGN COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL ORDINANCES AND BUILDING CODES.
- ALL LEVELING GROUT SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI EXPOSED GROUT SHALL BE NON-STAINING.

## CONCRETE:

- ALL CONCRETE SHALL HAVE MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI. (CONCRETE DESIGN IS IN ACCORD WITH ACI 318-99.)
- SAW CONTROL JOINTS IN FLOOR SLABS, FIELD VERIFY LOCATIONS WITH ARCHITECT. CONTROL JOINTS SHALL BE 96" WIDE X 1 1/4" DEEP AND CUT WITHIN 12 HOURS AFTER CONCRETE IS PLACED.
- CONCRETE COARSE AGGREGATE WITH A MINIMUM SIZE OF 1" MAY BE USED IN FOUNDATIONS. ALL OTHER CONCRETE SHALL HAVE A COARSE AGGREGATE WITH A MINIMUM SIZE OF 3/4".
- MINING, TRANSPORTING, PLACING, AND CURING OF CONCRETE SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF ACI-302.

## FOUNDATIONS:

- FOUNDATIONS ARE DESIGNED FOR AN ASSUMED ALLOWABLE BEARING PRESSURE OF 3000 PSF. VERIFY BEARING PRESSURE PRIOR TO PLACING CONCRETE AND NOTIFY ARCHITECT/ENGINEER IS ACTUAL VALUE DEVIATES MORE THAN 10% FROM 3000 PSF.
- ALL BACKFILL MATERIAL SHALL CONSIST OF CONSOLIDATED STONE AND/OR MATERIAL APPROVED BY A REGISTERED SOILS ENGINEER. NO BACKFILL MATERIAL SHALL BE PLACED AGAINST WALLS WITHOUT PROVISIONS FOR ADEQUATE BRACING OF THESE WALLS.
- BOTTOM OF FOUNDATION SHALL BE 12" BELOW FINISH GRADE.

## LOAD INFORMATION:

- LINE LOAD:  
ROOF - 20 PSF per International Residential Code (IRC) Section R802.5 and Tables R802.5.1(1)-(8)  
SLEEPING AREAS & ATTIC JOISTS - 30 PSF per IRC Section R502.3.1 and Table R502.3.1(1)  
OTHER FLOOR JOISTS - 40 PSF per IRC Section R502.3.2 and Table R502.3.1(2)
- WIND: V33 = 90 MPH
- SEISMIC:  
S3 = 11  
S2 = 11  
SITE CLASS - D  
USE GROUP - II  
R - PER TABLE 1617.6 IRC 2000

POST SCHEDULE	P1: EXISTING POST	P3: EXISTING MASONRY PIER
	P1: (2) 2x4 OR (1) 4x4	
	P2: 5" DIA. POST	
	ALL POSTS P1 UNLESS OTHERWISE NOTED	
	WALL SCHEDULE	
	2X4 AT 16" O.C. UNLESS OTHERWISE NOTED	
	FOOTING SCHEDULE	
	A: 1'-0" X 1'-0" X 12" WITH (2) #4 BW	
	B: 2'-0" X 2'-0" X 12" WITH (2) #4 BW	

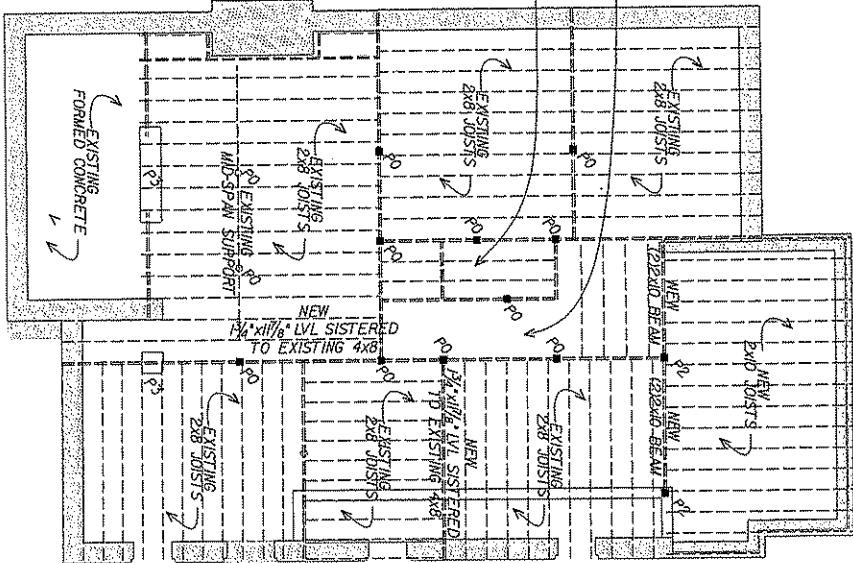
## REINFORCING:

- CONCRETE REINFORCING STEEL SHALL COMPLY WITH THE REQUIREMENTS OF ASTM A615, GRADE 40 FOR #3 BARS AND ASTM A615, GRADE 60 FOR #4 AND LARGER BARS.
- DETAILING OF CONCRETE REINFORCEMENT AND ACCESSORIES SHALL BE IN ACCORDANCE WITH ACI PUBLICATION 318, LATEST EDITION.
- UNLESS NOTED OTHERWISE ON THE DRAWINGS, VERTICAL REINFORCEMENT IN COLUMNS SHALL BE SPICED FOR MINIMUM OF 48 BAR DIAMETERS.
- HORIZONTAL WALL REINFORCEMENT SHALL BE CONTINUOUS AND HAVE 90 DEGREE BENDS AND EXTENSIONS AT CORNERS AND INTERSECTIONS AS SHOWN ON TYPICAL BAR PLACING DETAILS.
- LAPS IN WAF SHOULD BE ONE MESH PLUS TWO INCHES AT SPICES.
- SEE SLAB SCHEDULE FOR SLAB REINFORCING.
- ALL BAR HOOKS SHALL BE STANDARD 90 DEGREE HOOKS UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- CONCRETE PROTECTION FOR REINFORCEMENT OF POURED-IN-PLACE MEMBERS:  
FOOTINGS ..... 3 INCHES  
COLUMNS ..... 2 1/2 INCHES  
SLAB ON GRADE ..... 1 INCH FROM TOP
- SPICE ALL REINFORCING BARS PER ACI 318, CHAPTER 12.

NEW CONCRETE  
BLOCK  
FOUNDATION  
WALL BELOW

NEW STAIR OPENING

INFILL EXISTING  
STAIR WITH  
2X8 JOISTS

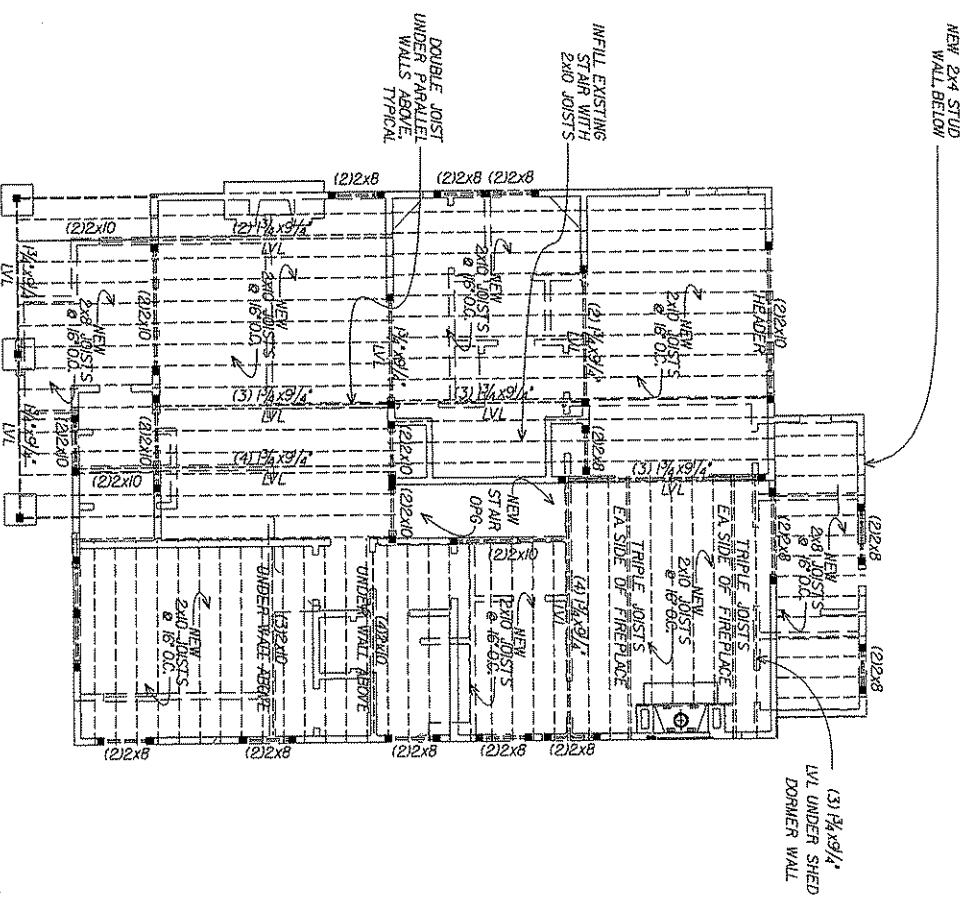
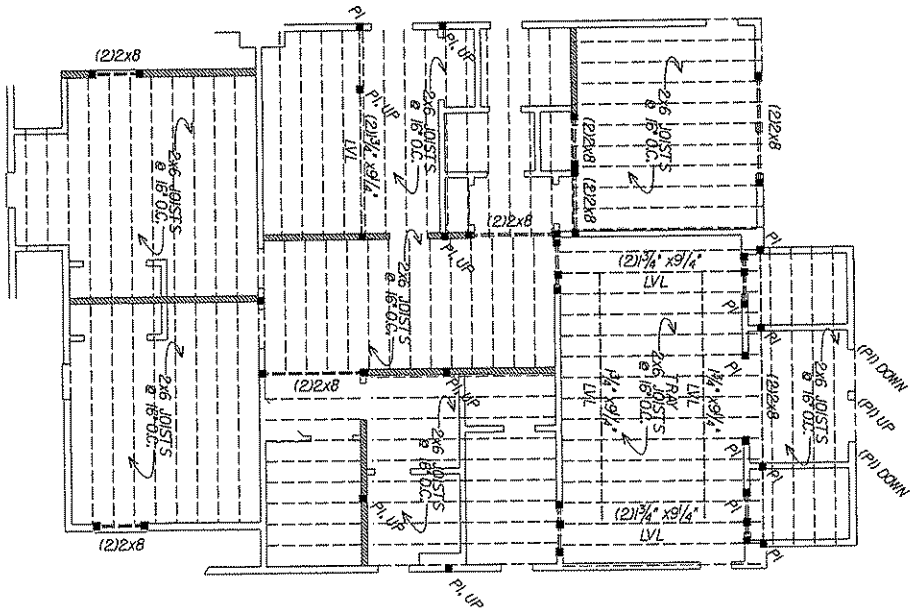


## 1 FIRST FLOOR FRAMING PLAN

A-1-00

SCALE: 1/8" = 1'-0"

18" = 1'-0"



2

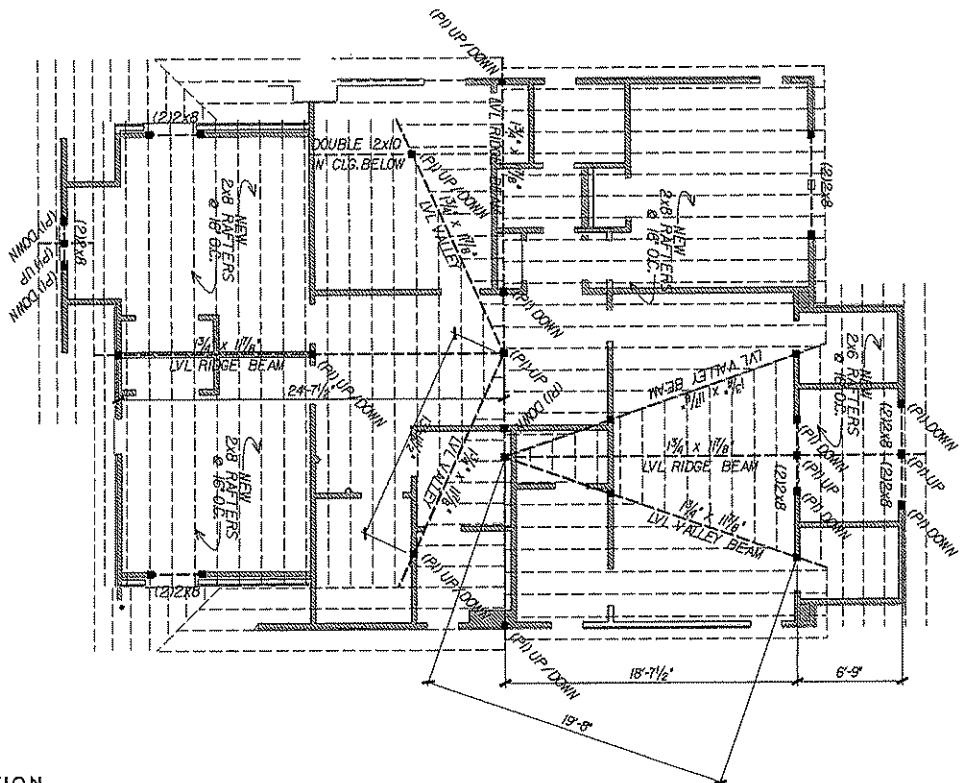
2nd FLOOR CEILING FRAMING

SCALE: 1/8" = 1'-0"

1

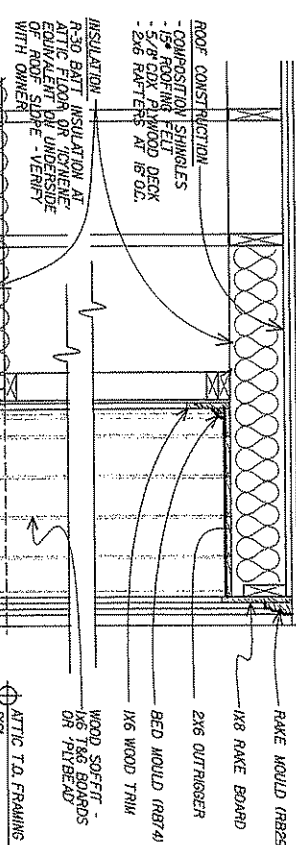
SECOND FLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"

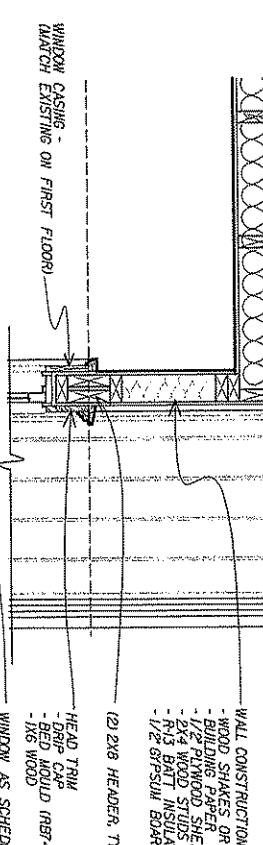




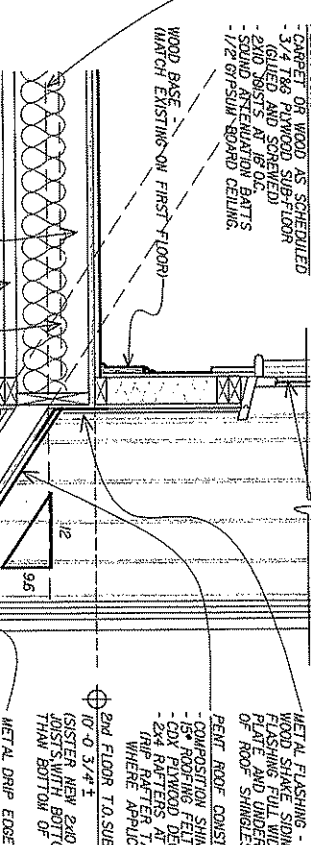




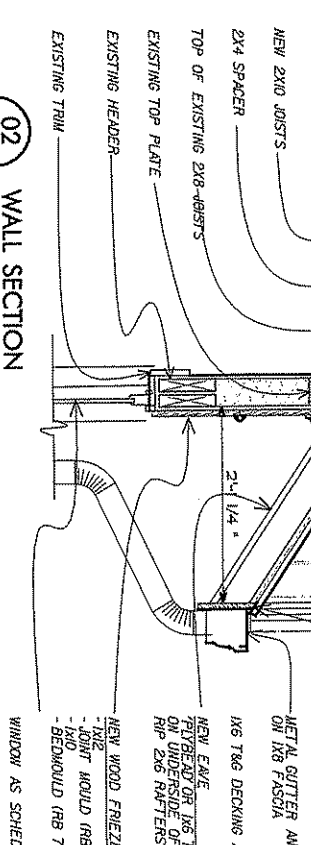
- RAKE MOULD (R829)
- 1X8 RAKE BOARD
- 2X6 OUTRIGGER
- BED MOULD (R874)
- 1X6 WOOD TRIM
- WOOD SOFFIT - 1X6 T&G BOARDS OR PLYBEAD
- ATTIC T.O. FRAMING
- WALL CONSTRUCTION
- WOOD SHAKES OR SHINGLES
- BUILDING PAPER
- 2X4 WOOD STUDS AT 16\"/>



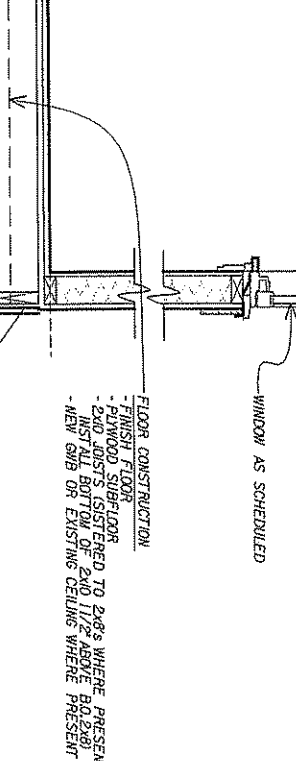
- HEAD TRIM
- DRIP CAP
- BED MOULD (R874)
- 1X6 WOOD
- WINDOW AS SCHEDULED
- METAL FLASHING - TUCK UNDER WOOD SHAKE SOFFIT, EXTEND FLASHING FULL WIDTH OF SILL PLATE AND UNDER FIRST COURSE OF ROOF SHINGLES
- PAINT ROOF CONSTRUCTION
- COMPOSITION SHINGLES
- BUILDING PAPER
- PLYWOOD DECK
- 2X4 RAFTERS AT 16\"/>



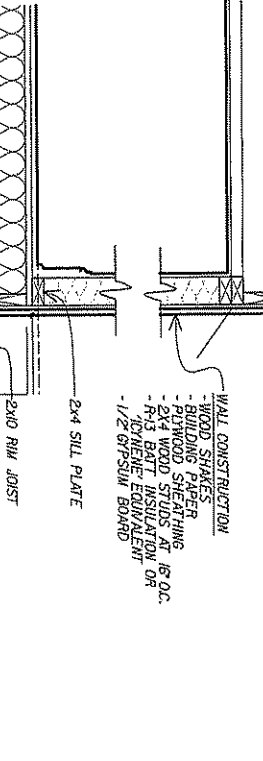
- NEW 2X10 JOISTS
- 2X4 SPACER
- TOP OF EXISTING 2X8-18\"/>



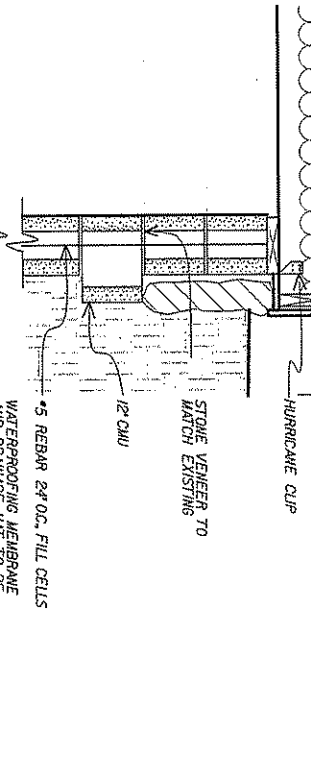
- NEW WOOD FRIEZE
- 1X2 TRIM
- JOINT MOULD (R8 B42)
- 1X4 BEDMOULD (R8 70)
- WINDOW AS SCHEDULED



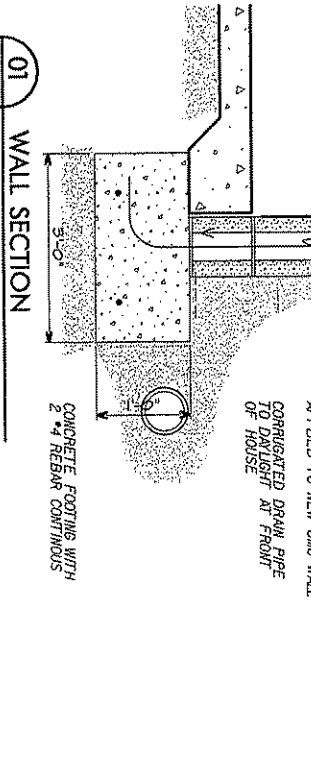
- WINDOW AS SCHEDULED
- FLOOR CONSTRUCTION
- FINISHED FLOOR
- PINNED SUBFLOOR
- 2X10 JOISTS SISTERED TO 2X8S WHERE PRESENT
- 2X10 JOISTS SISTERED TO 2X10 1 1/2\"/>



- WALL CONSTRUCTION
- WOOD SHAKES
- BUILDING PAPER
- PLYWOOD SHEATHING 16\"/>



- 2X4 SILL PLATE
- 2X10 RAFTER
- HURRICANE CLIP
- STONE VENEER TO MATCH EXISTING
- 12\"/>



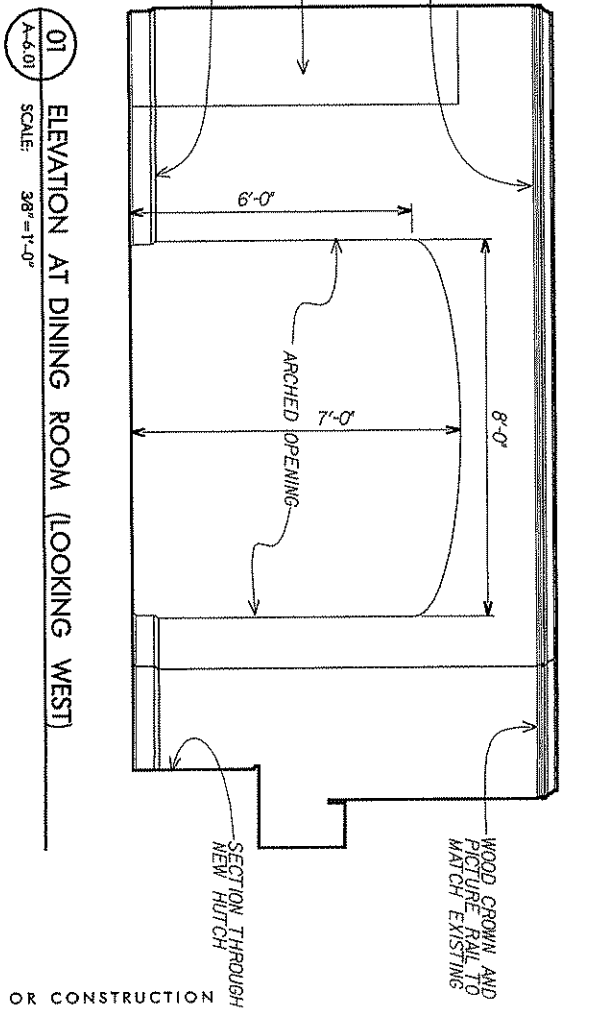
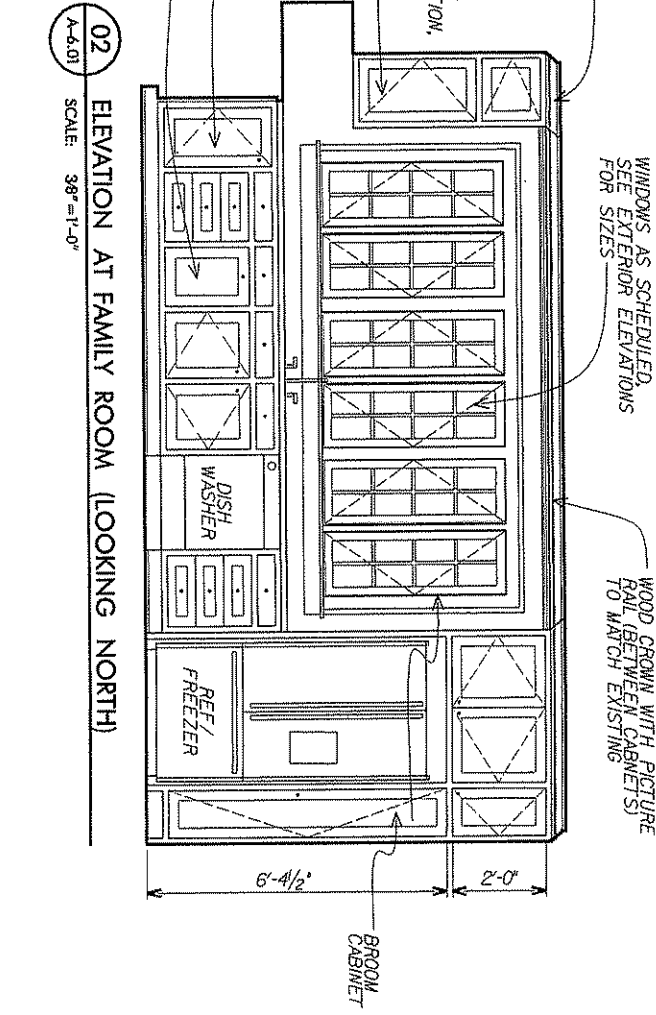
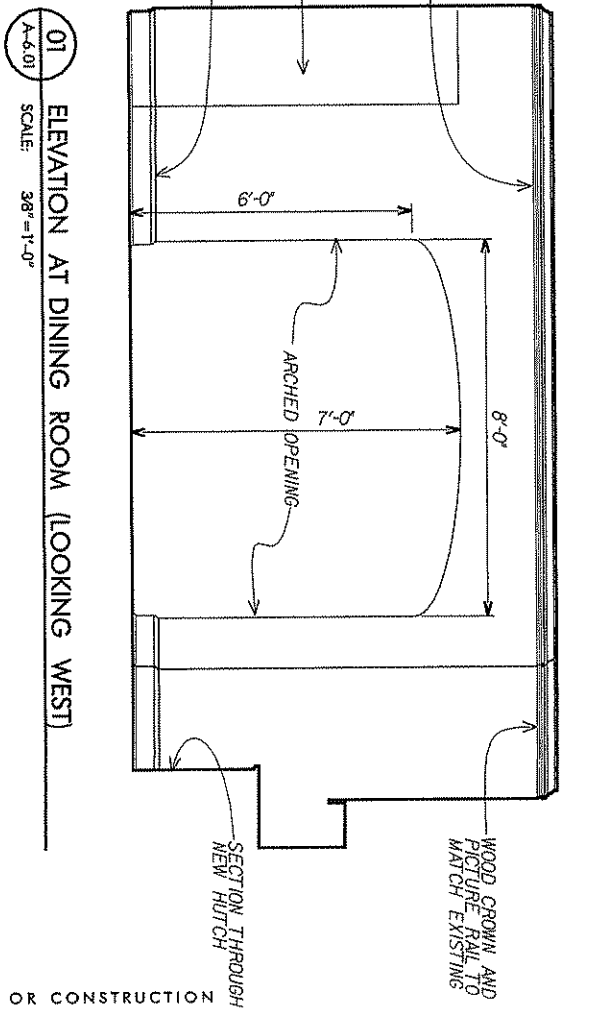
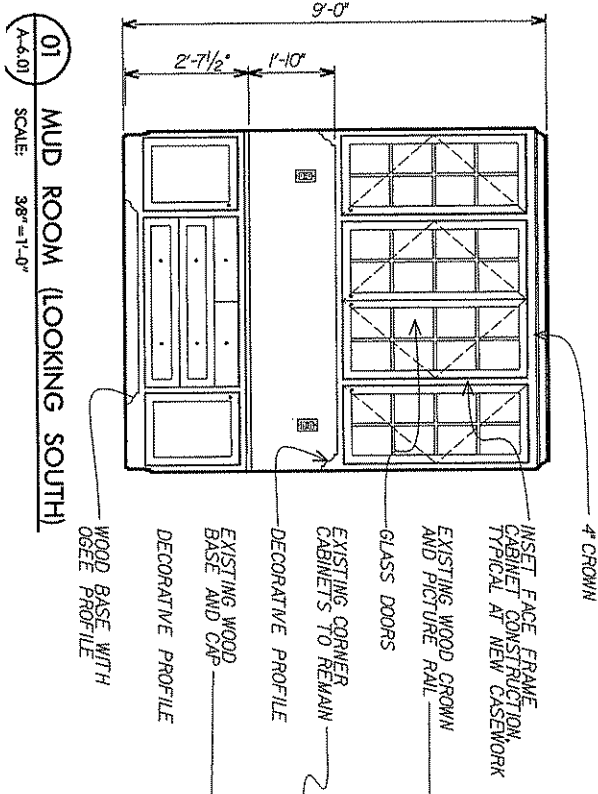
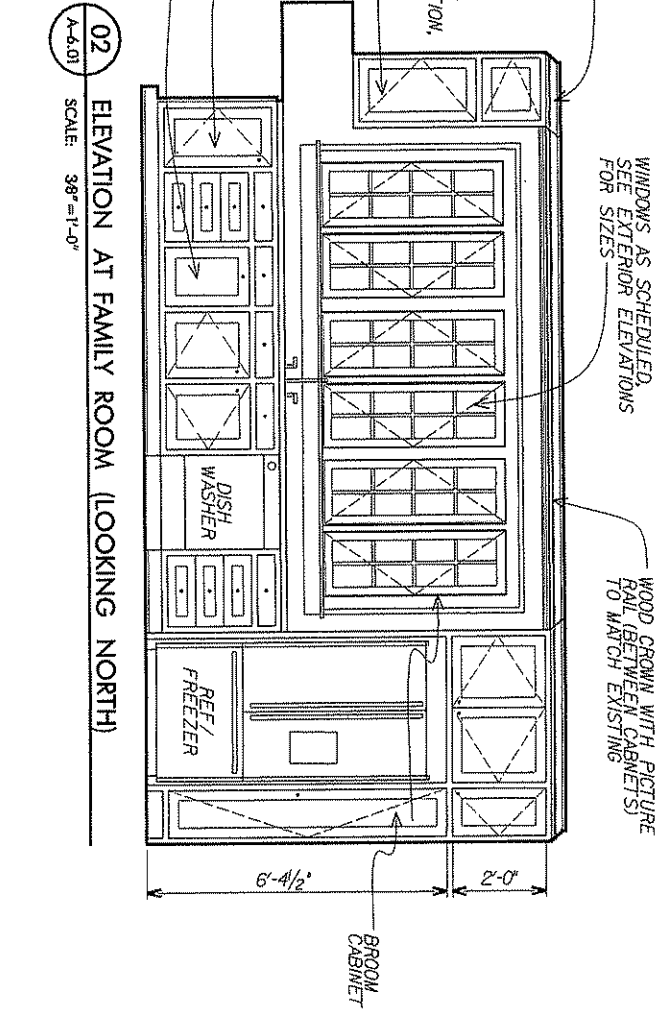
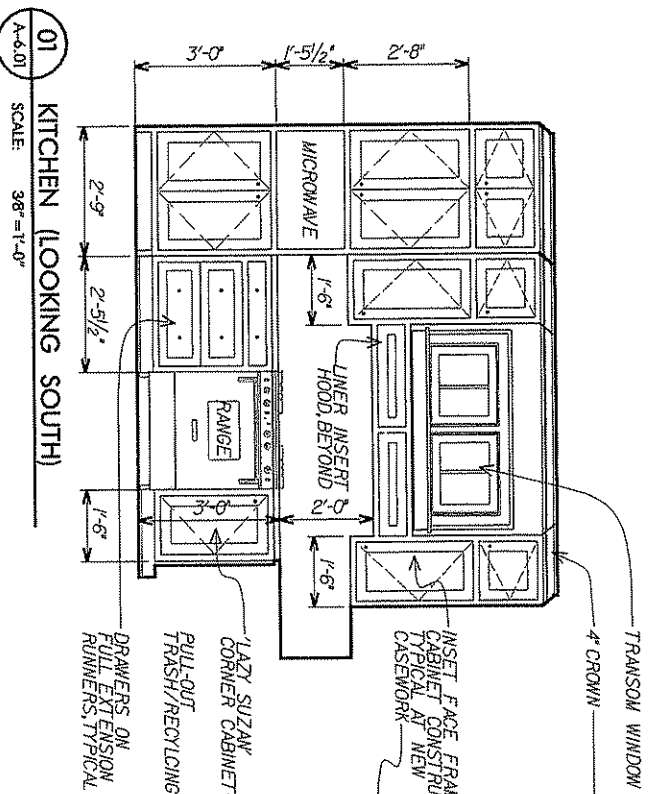
- CONCRETE FOOTING WITH 2 #4 REBAR CONTINUOUS
- 5 #5 REBAR 24\"/>

02 WALL SECTION

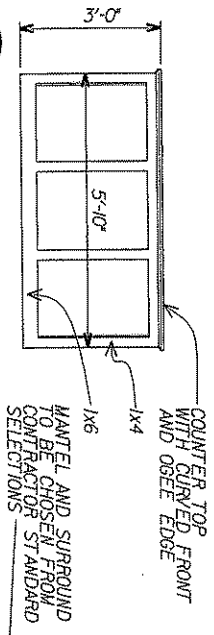
A-501 SCALE: 1/4\"/>

01 WALL SECTION

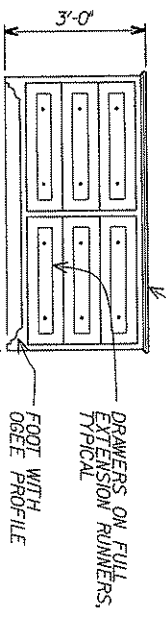
A-501 SCALE: 1/4\"/>



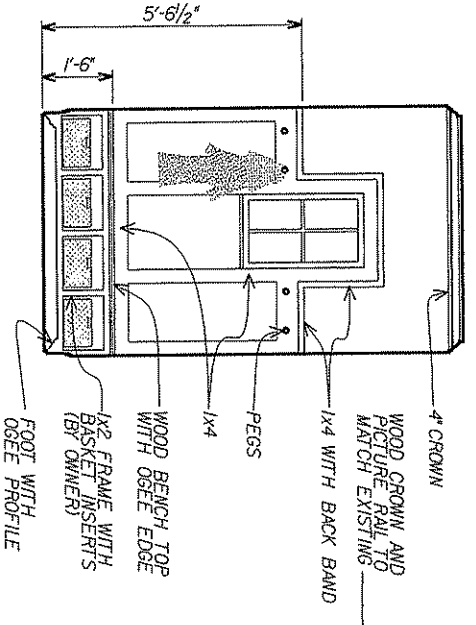
OR CONSTRUCTION



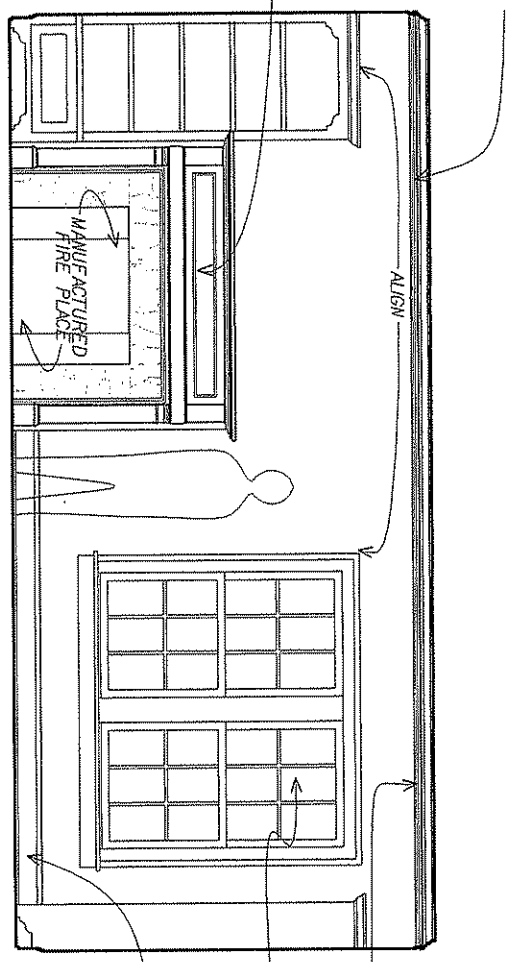
01 ISLAND (LOOKING WEST)  
 SCALE: 3/8" = 1'-0"



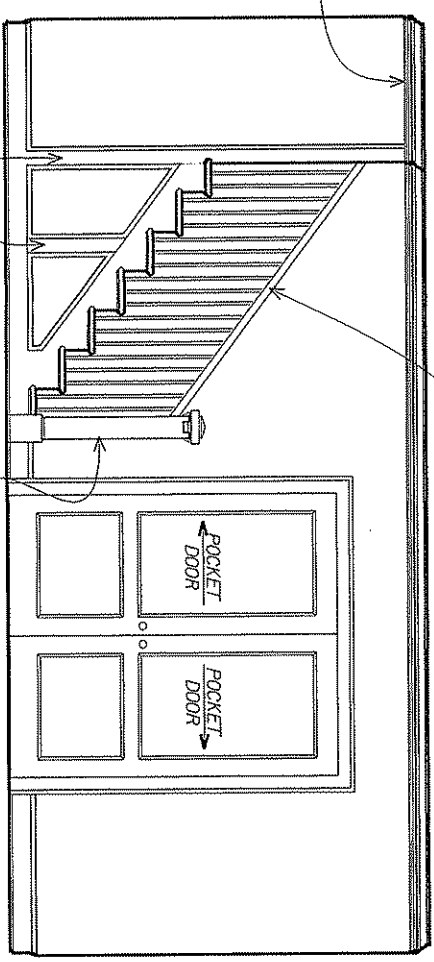
01 ISLAND (LOOKING EAST)  
 SCALE: 3/8" = 1'-0"



01 MUD ROOM (LOOKING SOUTH)  
 SCALE: 3/8" = 1'-0"

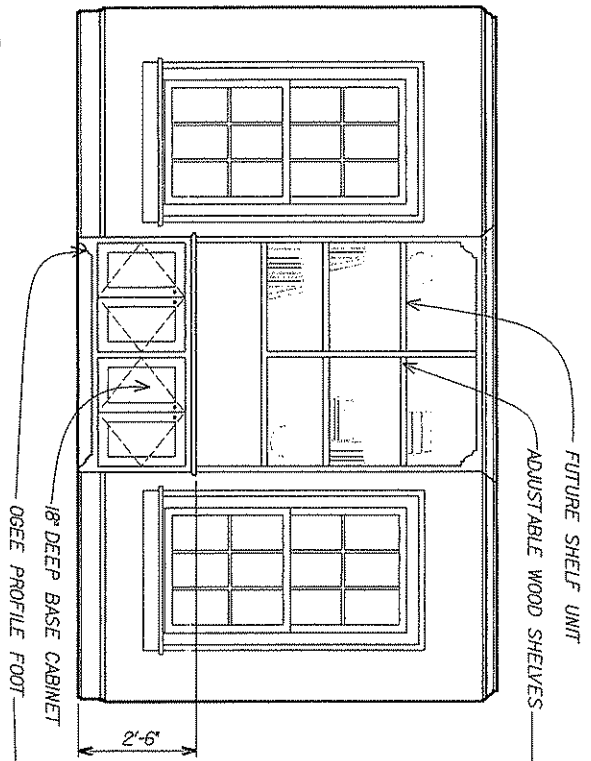


02 ELEVATION AT FAMILY ROOM (LOOKING NORTH)  
 SCALE: 3/8" = 1'-0"

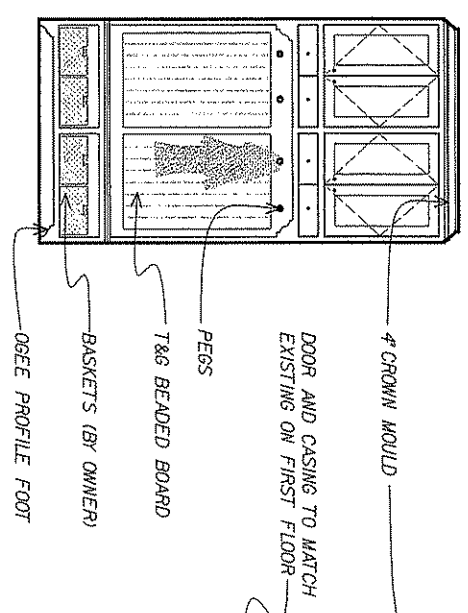


01 ELEVATION AT FAMILY ROOM (LOOKING SOUTH)  
 SCALE: 3/8" = 1'-0"

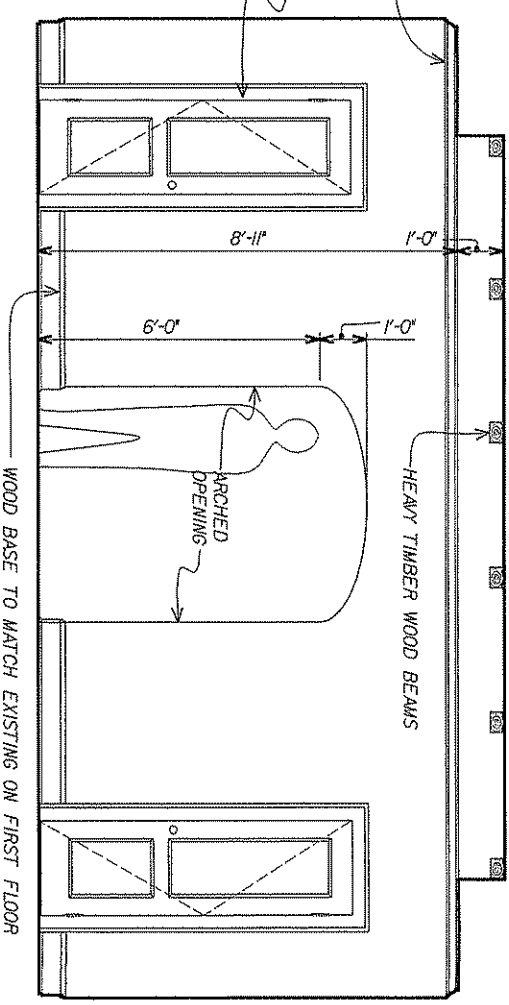
01 ELEVATION AT OFFICE (LOOKING NORTH)  
SCALE: 3/8" = 1'-0"



01 ENTRY (LOOKING NORTH)  
SCALE: 3/8" = 1'-0"



01 MASTER BEDROOM (LOOKING WEST)  
SCALE: 3/8" = 1'-0"



01 ELEVATION AT MASTER BEDROOM (LOOKING NORTH)  
SCALE: 3/8" = 1'-0"

