



CERTIFICATE OF APPROPRIATENESS REVIEW FORM

Property Address: 135 Kings Highway (08-MAK-2024)
 Historic District: McDonough-Adams-Kings Highway LHD
 Applicant: Dan Carney and Natalie Martinez
 Proposed Work: Rear addition, studio accessory structure, shed, and landscaping.

BUILDING HISTORY

According to the 2009 City-wide Historic Resource Survey, this 1925 one-story Craftsman bungalow is a contributing resource in the MAK district. Architectural features include brick cladding; six over one double-hung windows in single, double, and ribbon configurations; wide eaves and gable returns; and an inset front porch with monumental brick post. The building has undergone only minor exterior alterations such as enclosing the rear porch.

STANDARD OF REVIEW

Section 5.2.3 of the Unified Development Ordinance states material changes in historic districts shall not be made “until an application for a certificate of exemption or certificate of appropriateness has been approved.” The Historic Preservation Commission shall conduct all reviews following The Secretary of the Interior’s *Standards for Rehabilitation*.

STAFF REPORT

- A. Features, elements, and/or issues that are to be the subject of discussion during the review of a CoA application should be agreed upon by the Commission and listed below prior to being discussed.
- B. This list is not meant to represent a comprehensive or final list of all aspects of an application that influence the decision of the Commission.
- C. The purpose of this form is to make clearer to the applicant and commission members what specific aspects of a proposal are subject to review and to communicate any recommendations made by commission members during the process.

| Element Feature Subject to Review | As presented, the proposed work is | | | Comments, Requirements, Recommendations (refer to attachments if needed) |
|-----------------------------------|------------------------------------|---------------------|--------------|---|
| | Acceptable | Possibly Acceptable | Unacceptable | |
| Size and Location of Addition | X | | | The addition will extend toward the rear of the lot but will remain within the side setbacks and one-story height of the existing residence. |
| Details of Addition | X | | | Materials and detailing will match/complement existing. |
| Fenestration | X | | | If original windows must be replaced new ones must match existing in operation, opening, and profile. |
| Cladding in Gables | | | X | New siding must match original. |
| Accessory Structures | | | | As noted on the Sanborn map, there were two accessory structures on this lot. The plans do not show elevations for the proposed accessory structures, which must match/complement the main residence. |
| Landscaping | X | | | Impervious is limited to 40% of the size of the lot. |
| Interior | | | | Interiors are not reviewed but are referenced in order to understand proposed exterior alterations. |



1924 Sanborn Map (updated 1954)

CERTIFICATE OF APPROPRIATENESS

Planning & Zoning
 2635 Talley Street
 Decatur, GA 30030
 Phone 404-377-6198
 Fax 404-378-5054



Completed applications must be submitted, including required support materials, for any material change to a property within a historic district. Applications must be received by 5:00 p.m. no later than 15 calendar days prior to the regular Historic Preservation Commission (HPC) meeting, usually the third Tuesday of each month at 6:30 p.m. Applications heard by the HPC must be approved or denied within 45 days of the filing of the application. Appeals to HPC decisions may be made to the City Commission. All applications are reviewed and processed according to the City of Decatur Unified Development Ordinance Section 5.2 and the individual district design guidelines. Building permits will not be issued without proof of a Certificate of Appropriateness.

Address of property 135 Kings Hwy Decatur, GA 30030

- | | |
|--|---|
| <input checked="" type="checkbox"/> McDonough-Adams-Kings Highway District | <input type="checkbox"/> Parkwood Historic District |
| <input type="checkbox"/> Clairemont Avenue Historic District | <input type="checkbox"/> Old DeKalb County Courthouse |
| <input type="checkbox"/> Ponce de Leon Court Historic District | <input type="checkbox"/> Scottish Rite Hospital for Crippled Children |
| <input type="checkbox"/> Old Decatur Historic District | |

Name of applicant Dan Carney and Natalie Martinez Email nataliemartinez.54@gmail.com
 Address 135 Kings Hwy City/state/ZIP Decatur, GA 30030
 Phone 404-901-6119 Cell phone 404-808-1863

Name of architect/contractor Natalie Martinez LLC, Architect
 Phone 404-901-6119 Email nataliemartinez.54@gmail.com

Brief description of project (example: addition, siding replacement, fence, screen porch, etc.) One-story rear addition to an existing one-story home. Project includes two accessory structures in the rear yard.

Does this project also require a variance? Yes No

Type of project (check all that apply)

Construction

- New building
- Addition to building
- Accessory building
- Major building restoration
- Minor exterior change
- Other _____

Site changes

- Driveway, sidewalk
- Fence, wall
- Signage
- Demolition or relocation of building
- Healthy tree removal
- Other _____

I hereby certify that the above and attached statements and documents are true to the best of my knowledge and belief.

Applicant signature *Dan Carney & Natalie Martinez* Date 2/9/24

Staff use only

Complete application received by _____ Date _____

Certificate of Appropriateness Application - 135 Kings Hwy

Front Elevation - 135 Kings Hwy



Certificate of Appropriateness Application - 135 Kings Hwy

Rear Elevation - 135 Kings Hwy



Certificate of Appropriateness Application - 135 Kings Hwy

Right Elevation - 135 Kings Hwy



Certificate of Appropriateness Application - 135 Kings Hwy

Right Elevation - 135 Kings Hwy



Certificate of Appropriateness Application - 135 Kings Hwy

Left Elevation - 135 Kings Hwy



Certificate of Appropriateness Application - 135 Kings Hwy

Front Elevation - 139 Kings Hwy (neighboring property)



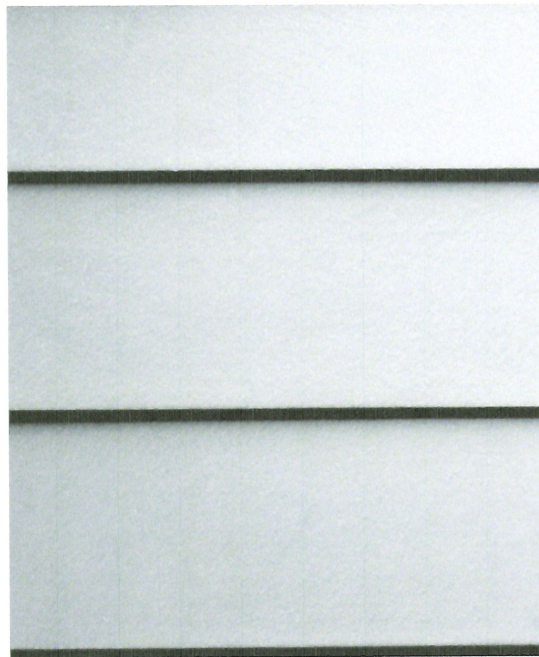
Certificate of Appropriateness Application - 135 Kings Hwy

Front Elevation - 131 Kings Hwy (neighboring property)



PRIMED FOR PAINT

James Hardie's primed for paint collection gives you the power to choose paint for your home's exterior. It's primed. It's ready for field painting. It's a durable, high-performance canvas.



AVAILABLE SIZES

THICKNESS: 0.312"

LENGTH: 144" boards

WIDTHS: 6.25" 8.25"
EXPOSURES: 5" 7"
12" 5.25"
10.75" 4"
7.25" 9.25"
6" 8"

Warranty Information >

Request a Quote >

Request a Sample >



TURN BASIC INTO BOASTFUL.

Here's how to make our windows uniquely yours. Personalize them with the classic charm of our wood grilles. Add the authentic styling of our updated divided lites. Or you might choose to warm your dining room with our leaded or stained glass windows.



SIMULATED DIVIDED LITE

Our simulated divided lites give you the classic appeal of traditional true divided lites, but without the energy loss caused by individual glass panes. Extruded aluminum outside, natural wood inside, and optional spacers between the glass. Also available in all-wood version.



REMOVABLE WOOD GRILLE

Our removable wood grille is an affordable, convenient alternative to divided lites. Simply pop out the grille, wash the window, and pop it back in. Available as full surround in select or optional wood species.



GRILLES BETWEEN THE GLASS

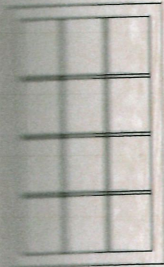
This is the easiest way to achieve the divided lite look. We actually seal the grille between the panes of glass. So you get the visual appeal you want without the grille ever getting in your way.



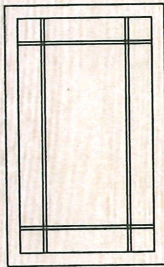
Grilles between the glass come in your choice of profiles: 1 1/16" contour or 5/8" flat. Two-tone also available.

GRILLE CONFIGURATIONS.

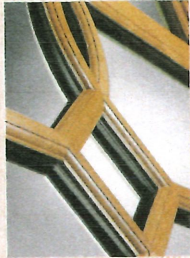
Your grilles can be as traditional or as unique as you choose. Our standard configurations include rectangular and Prairie. But with our custom configurations, we're ready to transform your inspiration into reality.



Equal



Prairie



Bronze spacer option shown.

Grille profiles

Simulated divided lite

Wood grille

Pane 5/8"



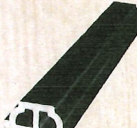
Pane 7/8"



Pane 1"



5/8"



7/8"



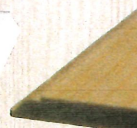
1"



1 1/4"



1 1/2"



is the
ive to
ne grille
ack in.
elect pine



ome in
or 1"
e grilles





RAGLAND
CLAY PRODUCTS, LLC
Telephone 205-472-2136 • Fax 205-472-2119

Modular
Cotton Row



RAGLAND
CLAY PRODUCTS, LLC
Telephone 205-472-2136 • Fax 205-472-2119

This sample is to demonstrate general color and texture only. Slight variations may occur in all shipments. It is impossible to illustrate all brick colors & patterns, get in every shipment with only a few bricks.

AVAILABLE IN THIN BRICK

Certificate of Appropriateness Application - 135 Kings Hwy

List of Proposed Materials:

Windows - Sierra Pacific Simulated Divided Light Double Hung

Brick - Ragland Clay - Modular

Mortar - Firgos Beige

Siding - Hardie siding, 5" exposure

Siding Trim: Hardie smooth panel with wood trim piece, similar to existing

Cedar shakes - stained

RESERVED FOR THE SUPERIOR COURT CLERK

- GENERAL NOTES:**
1. This Plat has been prepared without the benefit of a current title report. Easements or encumbrances may exist that are not shown on this plat.
 2. This plat is subject to any restrictions, easements, covenants or restrictions that may exist either written or unwritten.
 3. Underground utilities not shown herein may exist. The Surveyor does not take responsibility for absence or presence of any such utilities.
 4. No Geodetic monuments were found within 500 feet of this site.
 5. This Plat has been prepared for the exclusive use of the person(s) or entities named herein.

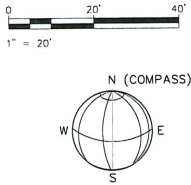
This plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated herein.

RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-57.

THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE PLACED USING SIZE DIMENSIONS FROM HOUSE. ALL MATTERS OF TITLE ARE EXEMPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT-OF-WAY PUBLIC OR PRIVATE.

ZONING NOTE:
BEFORE DEVELOPMENT OF THIS PROPERTY, DEVELOPER AND ARCHITECT TO CONFIRM ZONING, PER CITY OR COUNTY ZONING DEPARTMENT.

NOTE: BUILDING TIES SHOULD NOT BE USED FOR DESIGN OR CONSTRUCTION WITHOUT VERIFICATION



REFERENCE: DEED BOOK 26387 PG 786
SURVEY FOR F. WILLIAM VALLI BY
JOSEPH C. KING DATED 10-19-1978

FLOOD HAZARD NOTE: THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA AS DEFINED BY FIRM MAP OF DEKALB COUNTY, GEORGIA 13089C0088J EFFECTIVE DATE DECEMBER 8, 2016

SURVEY DATA:

TYPE OF SURVEY: RETRACEMENT
SOURCE OF TITLE DESCRIPTION FOR SUBJECT PROPERTY: DB 26387 PG 786
PROPERTY OWNER AT TIME OF SURVEY: DANIEL D. CARNEY & NATALIE MARTINEZ
PARCEL NUMBER: 15-235-03-100

BASIS OF BEARINGS IS A SINGLE COMPASS READING & ANGLES TURNED THENCEFORTH, VERTICAL DATUM ASSUMED FROM DEKALB COUNTY GIS (COUNTY TOPO)

TOTAL AREA 10,785 SQ FT, 0.250 AC
CALCULATED PLAT CLOSURE 1:139,829

FIELD DATA:

DATE OF FIELD SURVEY 3-27-2017,
8-2-2023 (UPDATE)

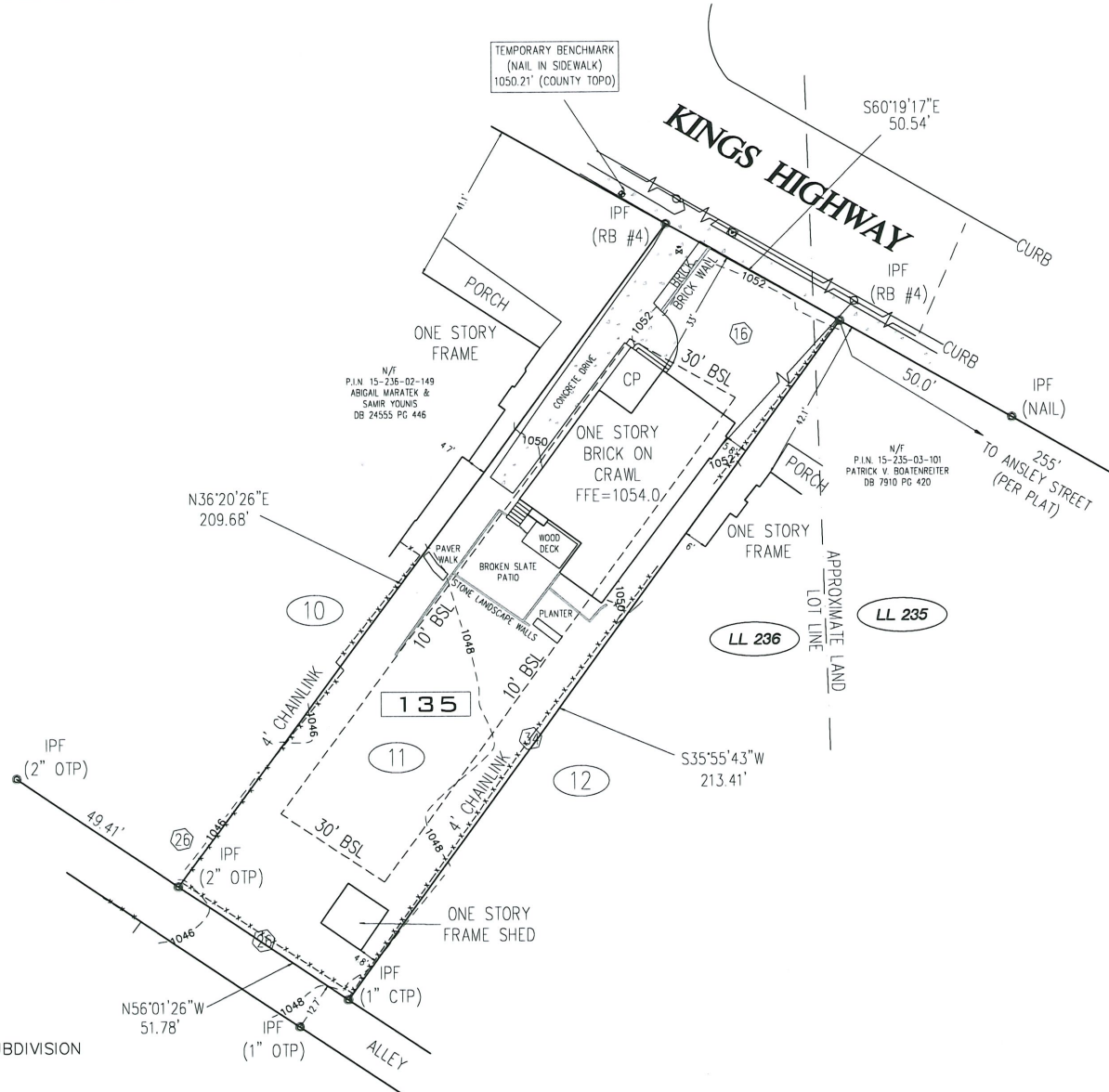
THE CALCULATED POSITIONAL TOLERANCE BASED ON REDUNDANT LINEAR MEASUREMENTS OF OBSERVED POSITIONS WAS FOUND TO BE 0.015 FEET.

EQUIPMENT USED:
ELECTRONIC TOTAL STATION

| 135 KINGS HIGHWAY | |
|--|--|
| ZONING: R-60 (CITY OF DECATUR) | |
| HOUSE = 1,565 S.F. | |
| CONCRETE DRIVE / FRONT WALK = 753 S.F. | |
| FRONT BRICK WALL / WALK = 62 S.F. | |
| FRONT PORCH / STEPS = 157 S.F. | |
| REAR CONC. STEPS = 24 S.F. | |
| REAR WOODEN DECK = 90 S.F. | |
| REAR GRAVEL PATIO = 374 S.F. | |
| REAR PAVER WALK = 15 S.F. | |
| STONE LANDSCAPE WALL(S) = 44 S.F. | |
| PLANTER = 16 S.F. | |
| FRAME SHED = 152 S.F. | |
| IMPERVIOUS TOTAL = 3,252 S.F. | |
| LOT AREA = 10,785 S.F. | |
| LOT COVERAGE (%) = 30.2 | |

BOUNDARY & TOPOGRAPHIC SURVEY FOR
DAN CARNEY & NATALIE MARTINEZ
LOT 11, BLOCK E, RIVERS REALTY COMPANY SUBDIVISION

135 KINGS HIGHWAY
CITY OF DECATUR, DEKALB COUNTY, GEORGIA
LAND LOT 235 & 236, DIST 15
DATE: MARCH 28, 2017; AUGUST 4, 2023 (UPDATE)



- LEGEND**
- EOP EDGE OF PAVEMENT
 - CURB BACK OF CURB
 - BSL BUILDING SETBACK LINE (PRIMARY)
 - LLL LAND LOT LINE
 - PP POWER POLE
 - R/W RIGHT OF WAY
 - IPF IRON PIN FOUND
 - IPS 1/2" REBAR SET
 - SW SIDE WALK
 - BOLLARD
 - DHP OVERHEAD POWER
 - P- UP UNDERGROUND POWER
 - GAS- GAS UNDERGROUND GAS
 - W- UNDERGROUND WATER
 - UT- UT UNDERGROUND TELEPHONE
 - S- UNDERGROUND SEWER
 - FH FIRE HYDRANT
 - FDC FIRE DEPT. CONNECTION
 - CB CATCH BASIN
 - DWCB DOUBLE WING CATCH BASIN
 - SWCB SINGLE WING CATCH BASIN
 - MH MANHOLE
 - JB JUNCTION BOX
 - WM WATER METER
 - WV WATER VALVE
 - CV GAS VALVE
 - GM GAS METER
 - CO CLEANOUT
 - EM ELECTRIC METER
 - AC AIR CONDITIONING UNIT
 - TELEPHONE BOX
 - LP LIGHT POLE
 - CONCRETE PAD
 - CP COVERED PORCH

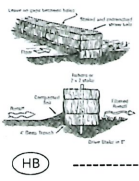
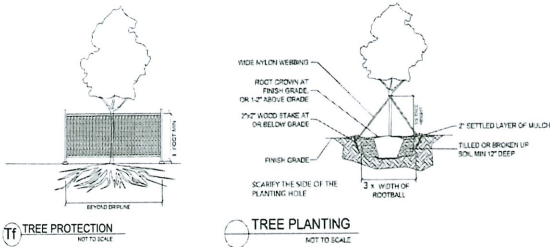
TREE SYMBOLS
X = DIAMETER IN INCHES
X HARDWOOD



FOR
DEKALB SURVEYS, INC.
407 WEST PONCE DE LEON AVENUE
SUITE B
DECATUR, GEORGIA 30030
404.373.9003



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Canopy Calculations

135 Kings Highway, Decatur, GA 30030

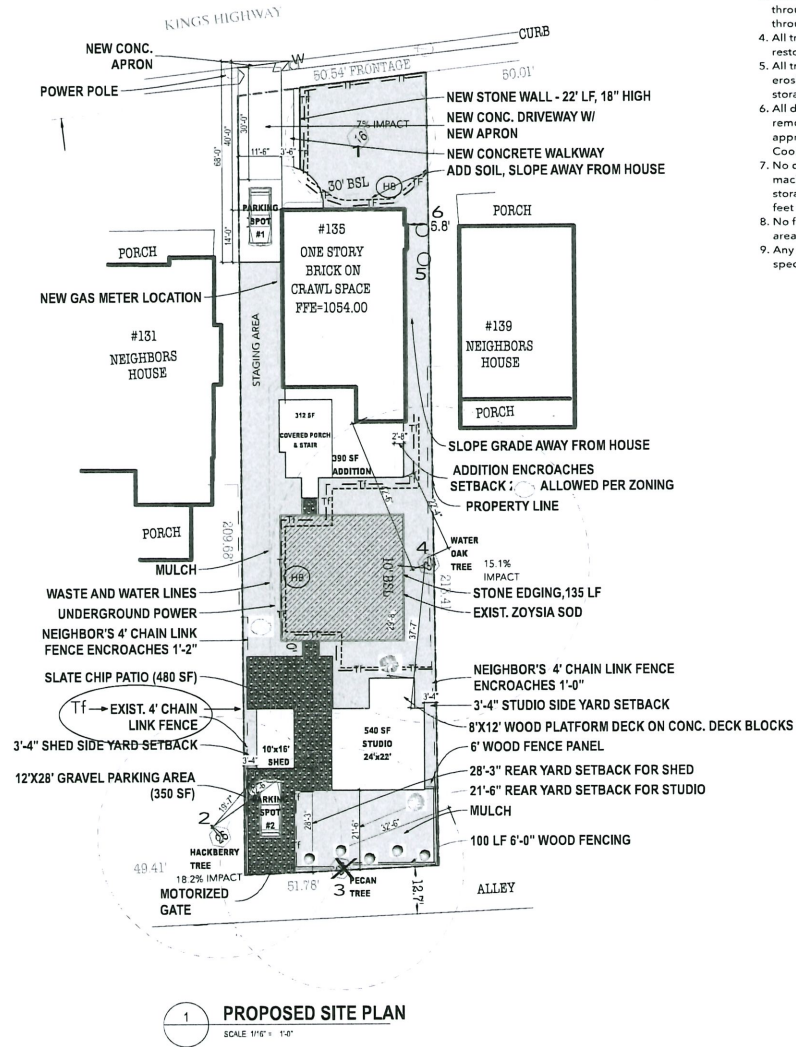
| # | SIZE (\" dbh) | SPECIES | SPECIES RATING | CONDITION | CRZ (ft.) | CANOPY** (sq. ft./ft. Dbh) | NET % Impact |
|---|---------------|--------------|----------------|-----------|-----------|----------------------------|--------------|
| 1 | 16 | Red Maple | 85 | Fair | 20 | 702 | 7 |
| 2 | 26 | Hackberry | 75 | Good | 32.5 | N/A | 18.2 |
| 3 | 26 | Pecan | 75 | Poor | N/A | N/A | Removal |
| 4 | 34 | Water Oak | 75 | Good | 43.5 | 1015 | 15.1 |
| 5 | 14x6x7 | Crape Myrtle | 80 | Fair | 17.5 | 115 | 0 |
| 6 | 8x6 | Crape Myrtle | 80 | Fair | 7.5 | 35 | 0 |

* Denotes boundary or neighboring tree
 ** Canopy is measured on site in square feet, based on an average radius, square and multiplied x pi. The canopy of some trees extends over adjacent properties or over story other trees. u denotes understorey
 *** Area with existing structures not counted as disturbed areas
 **** Canopy area of entire shape lies behind creek to the property line
 Shaded cells represent areas of contiguous canopy.

| Square footage of lot | Total Canopy (Square feet) | Lot Canopy Coverage (%) | Canopy Removed (Square feet) | Canopy Replaced (Square feet) | Canopy Total (Min. 50%) |
|-----------------------|----------------------------|-------------------------|------------------------------|-------------------------------|-------------------------|
| 10785 | 2190 | 20% | 0 | 4700 | 62% |

Planting Schedule

| Species | Rating | Number | Size (\" Calipers) | Canopy Square Feet | Total |
|-------------------------|--------|--------|--------------------|--------------------|-------|
| Little Gem Magnolia | 95 | 5 | 2.5 | 120 | 600 |
| Ginkgo | 80 | 1 | 2.5 | 1600 | 1600 |
| October Glory Red Maple | 85 | 1 | 2.5 | 900 | 900 |
| Princeton American Elm | 80 | 1 | 2.5 | 1600 | 1600 |
| Total | | 3 | | | 4700 |



Arborist Notes:

- Contact Decatur Department of Design, Environment and Construction to arrange a pre-construction conference with the City Green Infrastructure Coordinator (678-553.6527).
- All tree protection measures shall be installed prior to commencement of any construction, demolition, or land disturbance activities.
- Tree protection fencing shall be maintained throughout the duration of the project period, and through final landscaping and inspection.
- All tree protections shall be inspected daily and restored and replaced as needed.
- All tree protection areas shall be protected for soil erosion and sedimentation, concrete washout debris storage, chemical and paint spills.
- All demolition debris shall be hauled off-site. No tree removal or pruning during demolition, unless pre-approved by the city Green Infrastructure Coordinator.
- No dumpsters, demolition debris, parking, machinery, temporary sanitary facilities, or material storage within the tree protection areas or within 6 feet of critical root zones.
- No fire or excessive heat within the tree protection areas.
- Any pruning for clearance to structures must be specified per ANSI-A300 Standards.

135 KINGS HIGHWAY
DECATUR, GEORGIA 30030

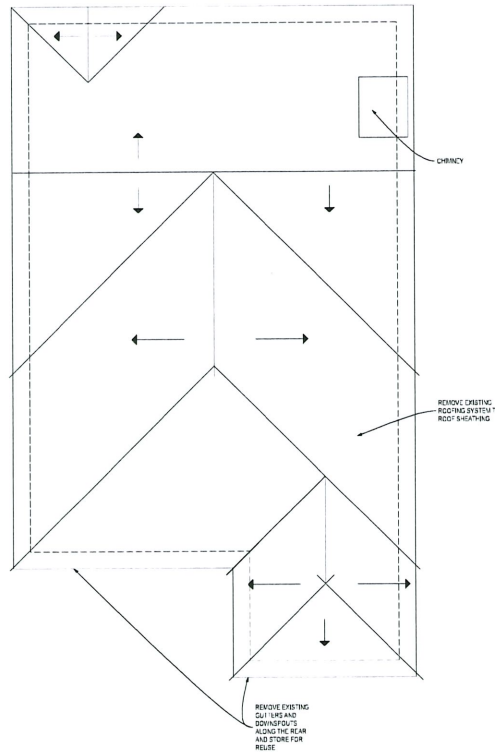
| REVISIONS | |
|-----------|-------------|
| # | DESCRIPTION |
| | |
| | |
| | |
| | |

TREE CONSERVATION PLAN

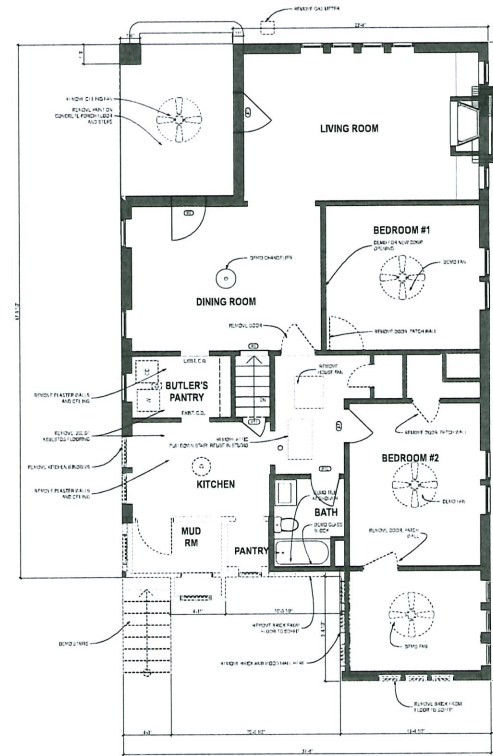
PROJECT NUMBER
202302
DATE
07-26-2023
SHEET NUMBER

VERSION 2.1 7/28/23
TREE CONSERVATION PLAN
 PREPARED BY:
 Ed Macie
 Consulting Urban Forester
 ISA Certified No. SO-6988A
 ISA Tree Risk Assessment Qualified
 ed@edmacie.com
 404 316-3546

135 KINGS HIGHWAY
DECATUR, GEORGIA 30030



2
A-01
EXISTING ROOF PLAN WITH DEMOLITION
SCALE 3/16" = 1'-0"



1
A-01
EXISTING FLOOR PLAN WITH DEMOLITION
SCALE 3/16" = 1'-0"

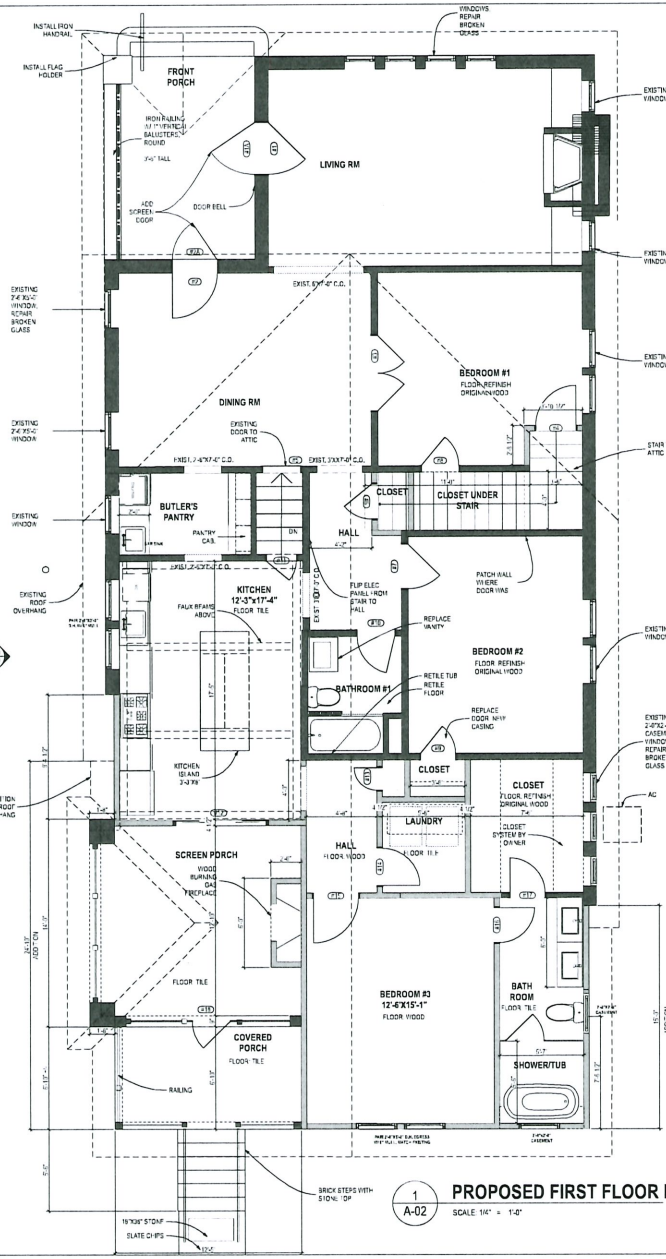
| REVISIONS | | |
|-----------|------|-------------|
| # | DATE | DESCRIPTION |
| | | |
| | | |
| | | |
| | | |

EXISTING FLOOR PLAN WITH DEMO & EXISTING ROOF PLAN

PROJECT NUMBER
202302
DATE
02-09-2024
SHEET NUMBER

A-01

FOR HISTORIC REVIEW



REAR REAR SCHEDULE

| F | W | P | HALL | LAIT |
|-----|----|----|------|------|
| 1 | 10 | 10 | 10 | 10 |
| 2 | 10 | 10 | 10 | 10 |
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| 6 | 10 | 10 | 10 | 10 |
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| 52 | 10 | 10 | 10 | 10 |
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| 57 | 10 | 10 | 10 | 10 |
| 58 | 10 | 10 | 10 | 10 |
| 59 | 10 | 10 | 10 | 10 |
| 60 | 10 | 10 | 10 | 10 |
| 61 | 10 | 10 | 10 | 10 |
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| 65 | 10 | 10 | 10 | 10 |
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| 67 | 10 | 10 | 10 | 10 |
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| 69 | 10 | 10 | 10 | 10 |
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| 93 | 10 | 10 | 10 | 10 |
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| 97 | 10 | 10 | 10 | 10 |
| 98 | 10 | 10 | 10 | 10 |
| 99 | 10 | 10 | 10 | 10 |
| 100 | 10 | 10 | 10 | 10 |

FLOOR PLAN LEGEND

- EXISTING WALL
- NEW WALL
- NOT IN SCOPE OF WORK

SQUARE FOOTAGE

EXISTING FIRST FLOOR
FIRST FLOOR: 1,569 SF

PROPOSED 1ST FLOOR ADDITION (CONDITIONED):
470 SF

PROPOSED SF (CONDITIONED SPACE):
2,039 SF

PROPOSED REAR COVERED PORCH:
280 SF

- HVAC NOTES
- FURNACE #1 TO SERVE THE EXISTING HOUSE LOCATED IN THE BASEMENT OF EXISTING HOUSE.
 - FURNACE #2 TO SERVE THE ATTIC
 - DEHUMIDIFIER ADD DUCT TO THE EXISTING DEHUMIDIFIER TO SERVE THE CRAWL SPACE IN THE ADDITION.

- PLUMBING NOTES
- EXISTING WATER HEATER LOCATED IN THE BASEMENT OF EXISTING HOUSE.
 - ADD EXHAUST THROUGH BEDROOM #2 CLOSET AND TERMINATE AT ROOF
 - INSTALL RECIRCULATING PUMP
 - EXISTING SUMP PUMP LOCATED IN THE BASEMENT OF EXISTING HOUSE
 - REPLACE SEWER LINE
 - RELOCATE GAS METER

- ELECTRICAL NOTES
- ELECTRICAL PANEL LOCATED IN THE KITCHEN
 - 10 AVAILABLE BREAKERS
 - INSTALL UNDERGROUND POWER TO REAR YARD

- INSULATION NOTES
- THERE IS BATT INSULATION IN THE ATTIC OF EXISTING HOUSE.
 - ADD BATT INSULATION TO ATTIC OF ADDITION
 - ADD INSULATION TO THE FLOOR FOR THE ENTIRE HOUSE.
 - PROVIDE BATT INSULATION AT ADDITION WALLS.

REVISIONS

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FLOOR PLANS - ADDITION

PROJECT NUMBER
202302

DATE
02-09-2024

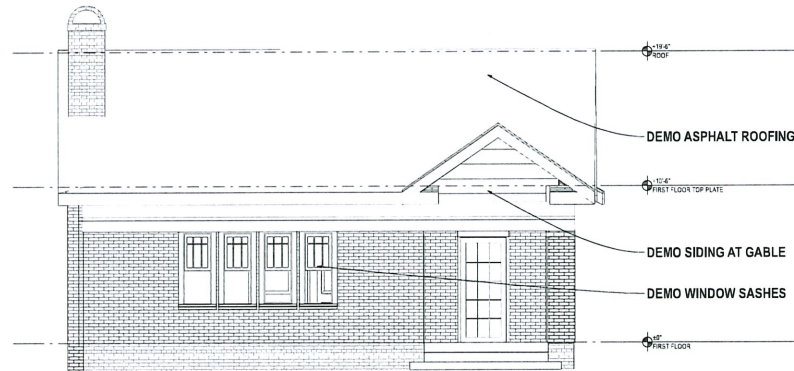
SHEET NUMBER

A-02

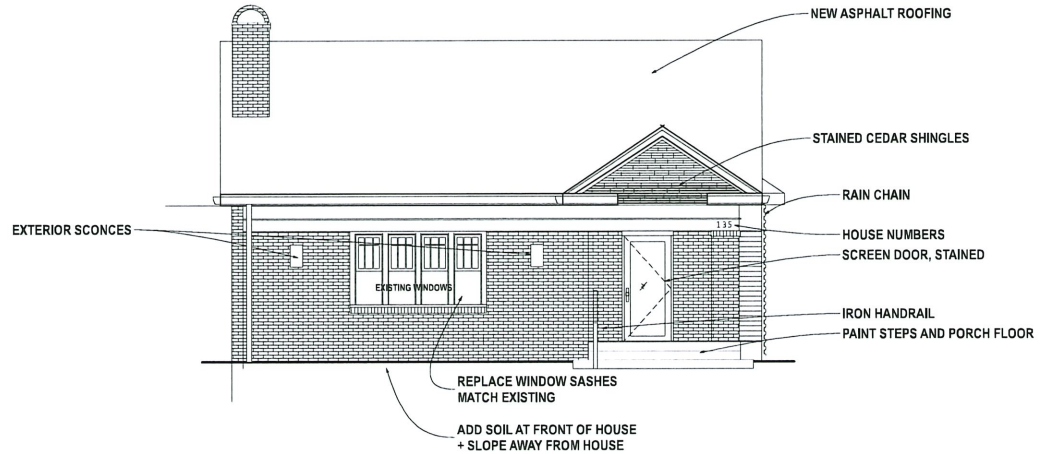
FOR HISTORIC REVIEW

1
A-02
SCALE: 1/4" = 1'-0"

135 KINGS HIGHWAY
 DECATUR, GEORGIA 30030



2
 A-05 EXISTING FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



1
 A-05 PROPOSED FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

| REVISIONS | | |
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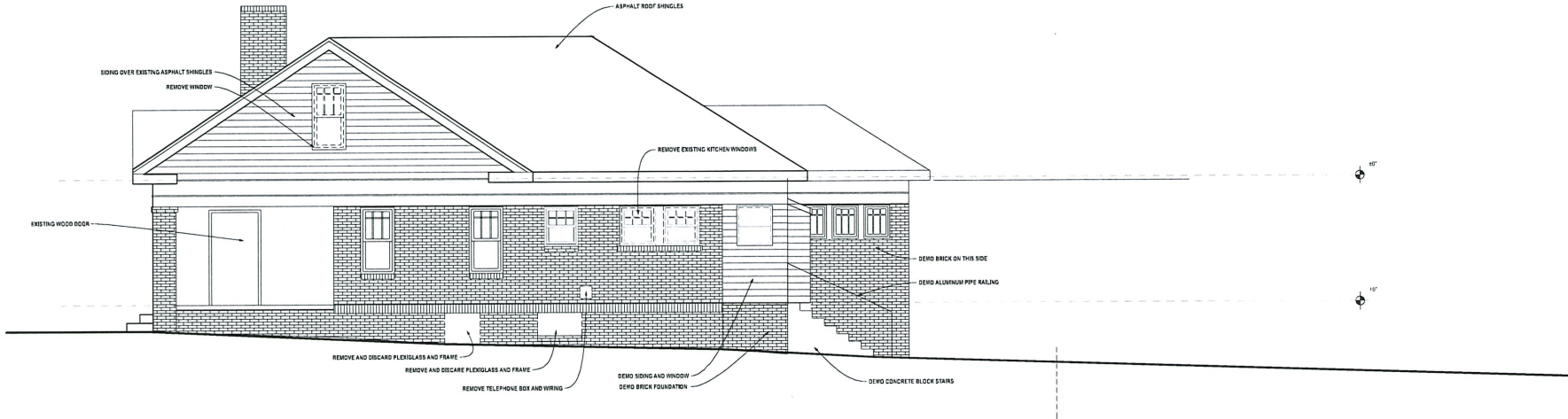
EXTERIOR ELEVATIONS: FRONT ELEVATIONS - EXISTING AND PROPOSED

PROJECT NUMBER
 202302
 DATE
 02-09-2024
 SHEET NUMBER

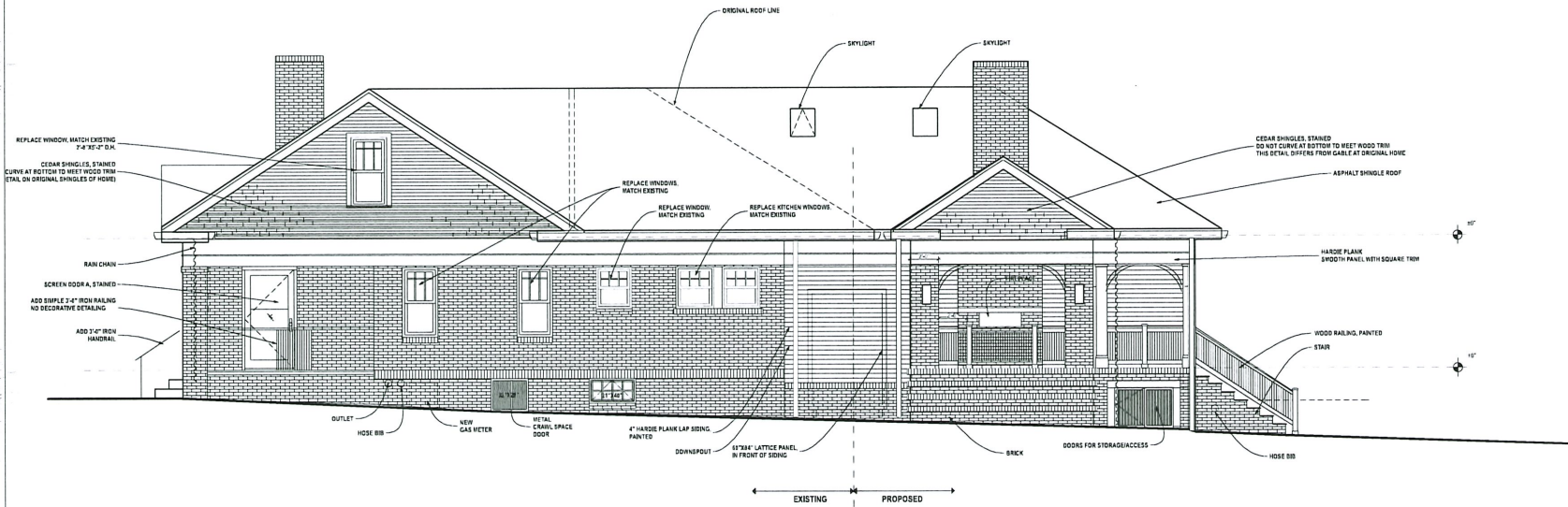
A-05

FOR HISTORIC REVIEW

135 KINGS HIGHWAY
DECATUR, GEORGIA 30030



2 EXISTING RIGHT EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



1 PROPOSED RIGHT EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

| REVISIONS | | |
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| # | DATE | DESCRIPTION |
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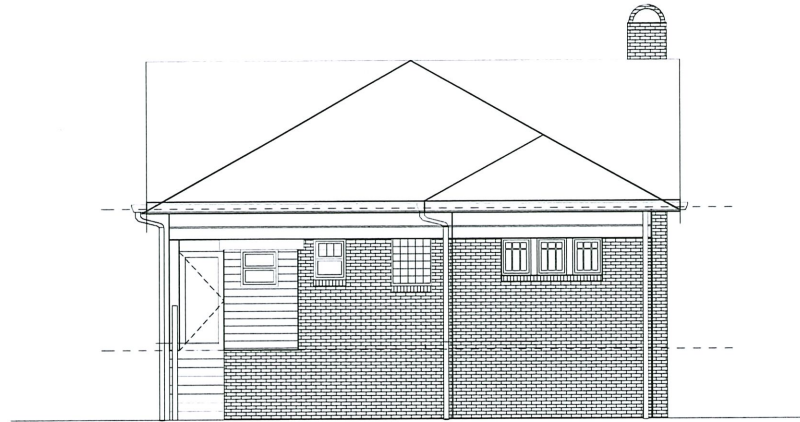
EXTERIOR ELEVATIONS: RIGHT ELEVATION

PROJECT NUMBER
202302
DATE
02-09-2024
SHEET NUMBER

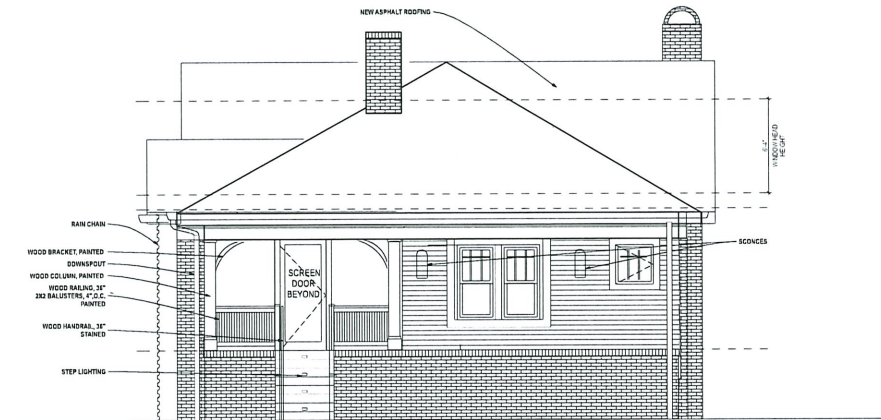
A-06

FOR HISTORIC REVIEW

135 KINGS HIGHWAY
 DECATUR, GEORGIA 30030



2 EXISTING REAR ELEVATION
 SCALE 1/4" = 1'-0"



1 PROPOSED REAR ELEVATION
 SCALE 3/16" = 1'-0"

REVISIONS

| # | DATE | DESCRIPTION |
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EXTERIOR
 ELEVATIONS: REAR
 ELEVATION

PROJECT NUMBER

202302

DATE

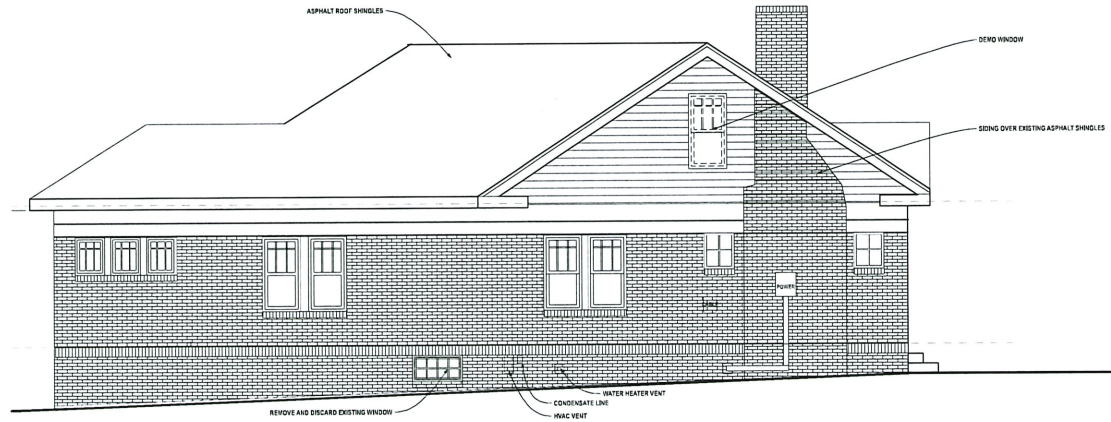
02-09-2024

SHEET NUMBER

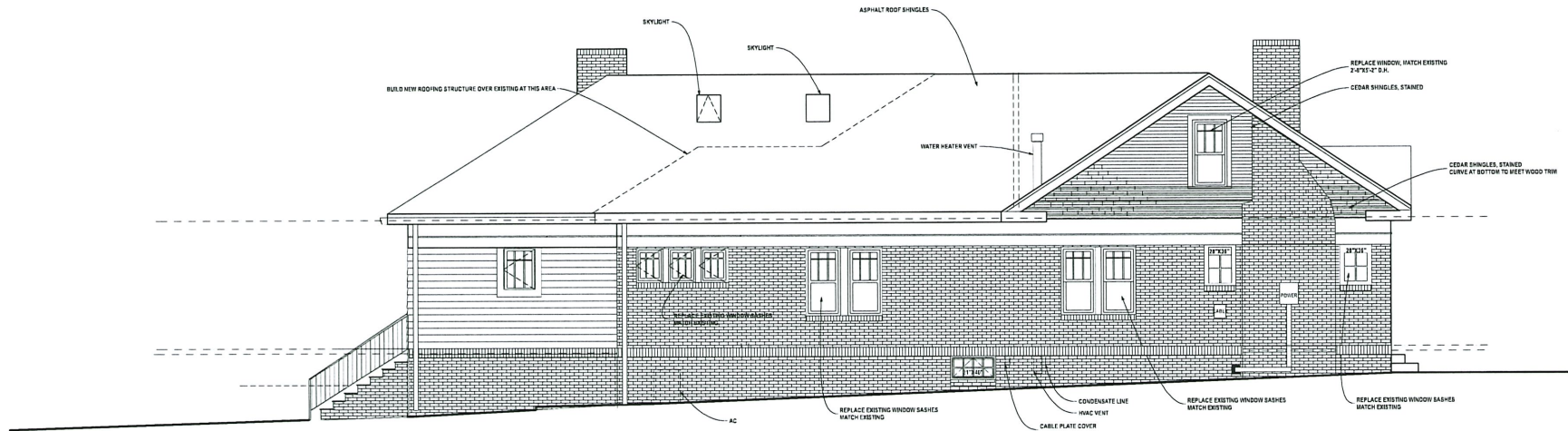
A-07

FOR HISTORIC
 REVIEW

135 KINGS HIGHWAY
DECATUR, GEORGIA 30030



2 EXISTING LEFT EXTERIOR ELEVATION
SCALE 1/4" = 1'-0"



1 PROPOSED LEFT EXTERIOR ELEVATION
SCALE 1/4" = 1'-0"

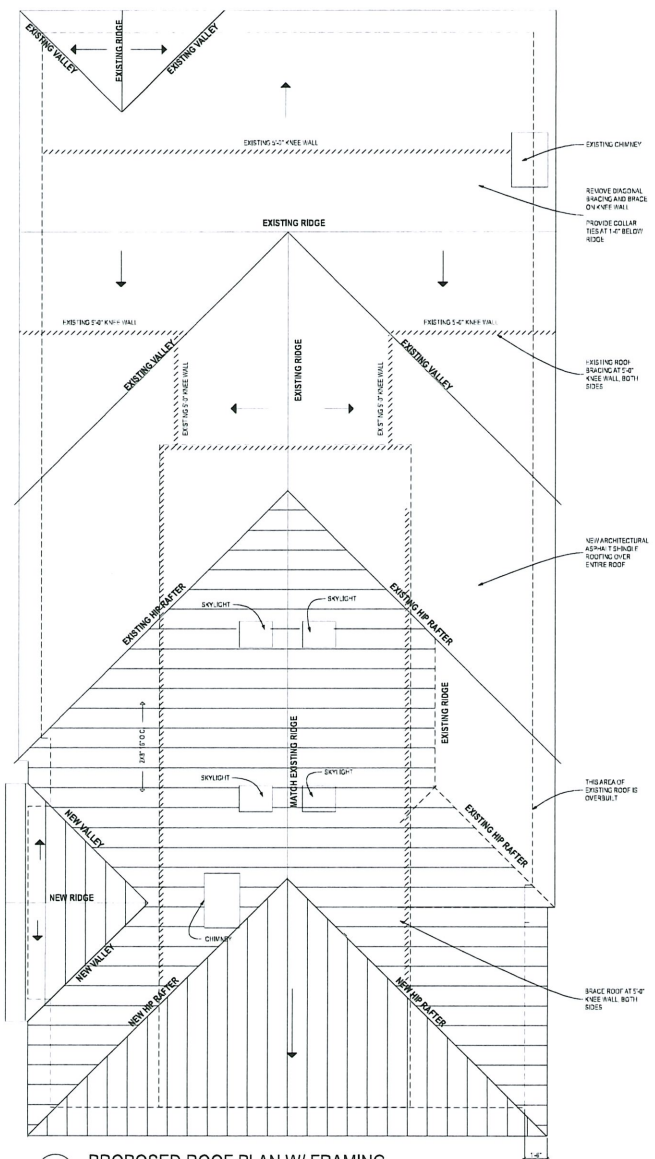
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EXTERIOR ELEVATIONS: LEFT ELEVATION

PROJECT NUMBER
202302
DATE
02-09-2024
SHEET NUMBER

A-08

FOR HISTORIC REVIEW



1
A-04 PROPOSED ROOF PLAN W/ FRAMING
SCALE 1/4" = 1'-0"

- ROOF NOTES**
1. ROOF TO BE ASPHALT SHINGLES OVER FELT PER MANUFACTURER'S INSTRUCTIONS.
 2. FLASH VALLEYS AND EAVES WITH OWENS CORNING WEATHERLOCK UNDERLAYMENT OR EQUAL.
 3. INSTALL CONTINUOUS SHINGLE OVER RIDGE VENT.
 4. PAINT ALL PLUMBING STACKS TO MATCH SHINGLES. NO PLUMBING STACKS SHALL BE VISIBLE FROM THE STREET.
 5. OWNER TO COORDINATE INSTALLATION OF NEW GUTTERS AND DOWNSPOUTS. GUTTERS AND DOWNSPOUTS SHALL BE INSTALLED PRIOR TO EXTERIOR PAINTING.

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REVISIONS

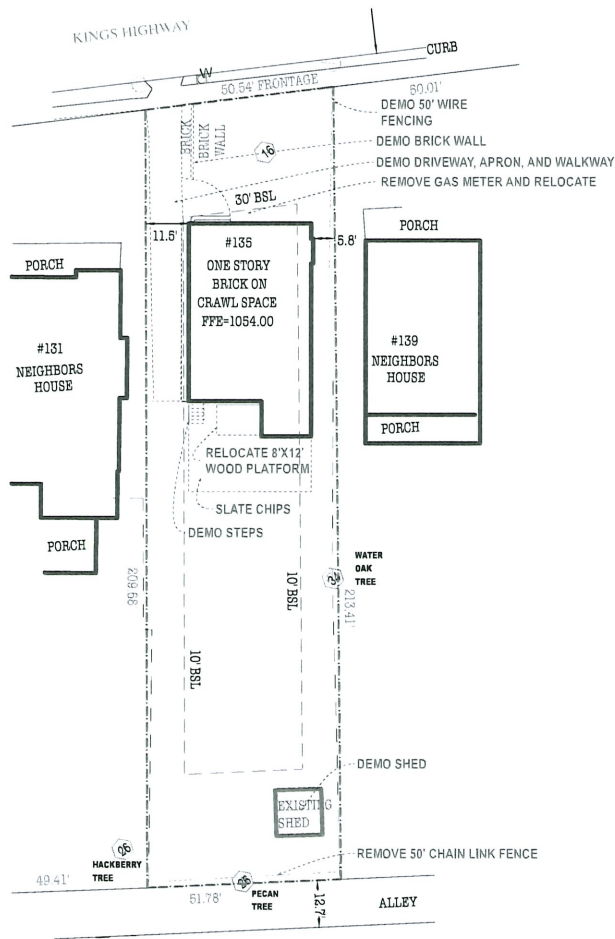
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PROPOSED ROOF PLAN

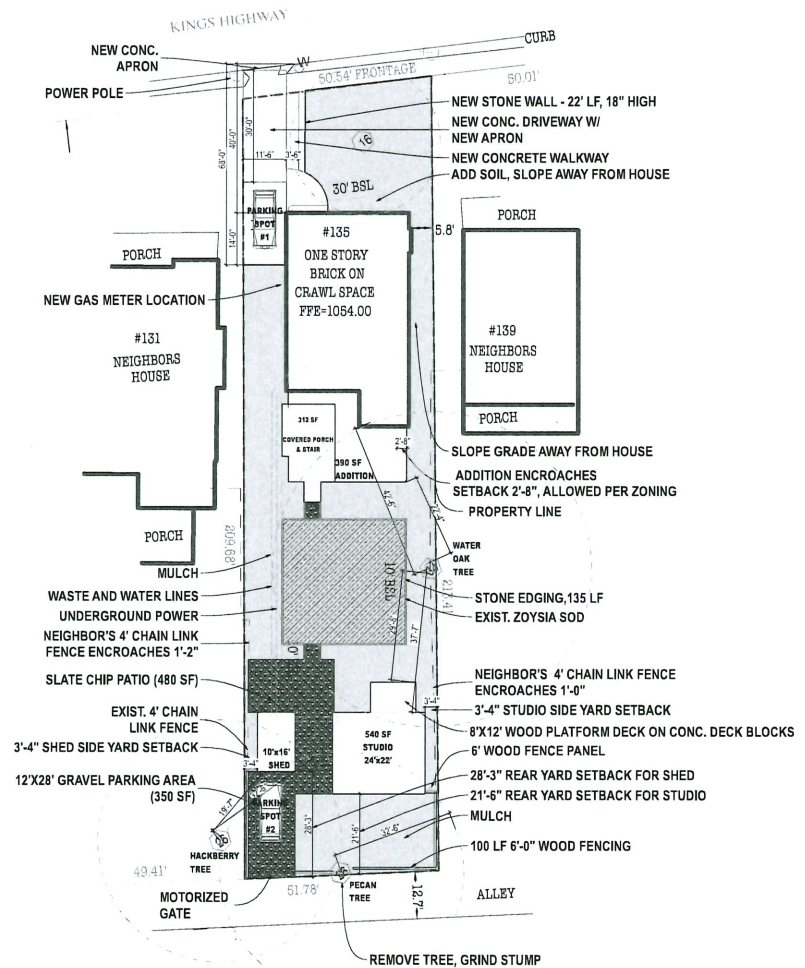
PROJECT NUMBER
202302
DATE
02-09-2024
SHEET NUMBER

A-04

FOR HISTORIC REVIEW



2 SITE PLAN WITH DEMOLITION
SCALE 1/16" = 1'-0"



1 PROPOSED SITE PLAN
SCALE 1/16" = 1'-0"

135 KINGS HIGHWAY
DECATUR, GEORGIA 30030

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SITE PLANS
(EXISTING W/ DEMO
AND PROPOSED)

PROJECT NUMBER
202302
DATE
08-23-2023
SHEET NUMBER

SP-01

PRICING SET